

CLIENT: TINDALE PORPERTY

[illegible]

<div>DA ONLY - NOT FOR CONSTRUCTION</div>		<div>PLANS PREPARED BY</div>		<div>CLIENT</div>		<div>NORTHVIEW ESTATE - STAGE 6 & 7</div>		<div>SCALE:</div>		<div>PLAN ISSUE</div>		<div>15.11.2024</div>	
<div>MM HYNDES BAILEY & Co.</div> <div>REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN</div> <div>Surveying the Hunter since 1920</div>		<div>GENERAL NOTES</div>		<div>GENERAL NOTES</div>		<div>DESIGN:</div> <div>MC / UK / RJ</div>		<div>DRAWN:</div> <div>MC / UK / RJ</div>		<div>ORIGINAL DRAWING SIZE: A1</div>		<div>A</div> <div>FOR DEVELOPMENT APPROVAL</div>	
<div>HB</div>		<div>TINDALE</div>		<div>LG4: MUSWELLBROOK</div>		<div>FILE: 224103_ST6-7_CIVIL</div>		<div>SHEET: NOTE001</div>		<div>REV: A</div>		<div>JOB REF:</div> <div>224103</div>	

GENERAL NOTES

1. All erosion and sedimentation devices are to be in place prior to the commencement of any earthworks.

2. All works are to be carried out in accordance with AUSPEC DEVELOPMENT CONSTRUCTION SPECIFICATION.

3. All lot dimensions / areas and easements are subject to final survey.

4. Make smooth junction with all existing works.

5. It is the responsibility of any persons/ contractors using this plan to locate and expose all underground services prior to the commencement of earthworks.

"DIAL BEFORE YOU DIG"

6. Surplus excavated material shall be placed where directed or removed from site as directed by superintendent

7. The contractor is responsible for protection of and adjustment to all services as may be required.

8. Dimensions are to be used in preference to scaling.

9. All topsoil and vegetation material is to be removed prior to the placement of any pavement material. Topsoil shall be suitably stockpiled for later reuse.

10. Working hours on the site shall be in accordance with council's specification.

11. Barricades are to be placed across entry/exits points to the site to prevent general access by the public to the construction site at the completion of each days work.

12. Disturbance of the site and surrounding areas to be kept to a minimum.

13. The contractors attention is drawn to compliance with general specification and the Inspection and Test Plan.

14. All disturbed areas shall be topsoiled and seeded within 2 weeks of final formation (refer specification) with the exception of the regrade area which is to be topsoiled, mulched and seeded

IMMEDIATELY after formation. The contractor is to ensure that the regrade area is fully vegetated and stabilised prior to leaving the site.

SURVEY

SU1 COORDINATES MGA

SU2. DATUM AHD

SU3. ALL CHAINAGES ARE IN METRES

SU4. CONTRACTORS SHALL ARRANGE FOR WORKS SET OUT AND WORKS AS EXECUTED SURVEY AND PLANS TO BE CARRIED OUT BY A REGISTERED SURVEYOR.

SU6. ROAD CONSTRUCTION CONFORMANCE TOLERANCES

SUBGRADE: +0mm / -20mm

SUBBASE: +10mm / 0mm

BASE +10mm / 0mm

PAVEMENT SEALING SPECIFICATION 1124

1. PAVEMENT PREPARATION

a) THE EXISTING SURFACE TO BE SEALED SHALL BE DRY AND BROOMED BEFORE COMMENCEMENT OF WORK TO ENSURE COMPLETE REMOVAL OF ALL SUPERFICIAL FOREIGN MATTER.

b) ALL DEPRESSIONS OR UNEVEN AREAS ARE TO BE TACK-COATED AND HAVE A CORRECTION COARSE APPLIED TO THE GENERAL LEVEL OF PAVEMENT BEFORE PLACING THE FIRST COAT.

3. PRIMER SEAL WITH 10mm AGGREGATE

a) THE WHOLE OF THE AREA TO BE TREATED WITH A 30mm AC WEARING COURSE

4. COMPACTION

Uniformly compact asphalt to the standards specified in Density as soon as the asphalt has cooled sufficiently to support the rollers without undue displacement. Compaction to be achieved using suitable sized steel wheeled or vibratory rollers or combination of steel wheeled or vibratory rollers and pneumatic tyre rollers.

5. FINISHED PAVEMENT PROPERTIES

a) FINISHED SURFACES SHALL BE SMOOTH, DENSE AND TRUE TO SHAPE AND SHALL NOT DEVIATE FROM THE BOTTOM OF A 3m STRAIGHT EDGE LAID IN ANY DIRECTION BY MORE THAN +/- 5mm.

DEMOLITION

1. ASBESTOS IF ANY SHALL BE REMOVED BY LICENSED CONTRACTOR TO AN APPROVED FACILITY AND HYGIENIST CLEARANCE CERTIFICATE PROVIDED PRIOR TO GENERAL SITE DEMOLITION.

2. DOCUMENTATION OF LEGAL DISPOSAL OF ASBESTOS SHALL BE PROVIDED TO THE SUPERINTENDENT

3. RECORDS OF LOCATION AND VOLUMES DISPOSAL OF ALL DEMOLITION MATERIALS ARE TO BE PROVIDED TO THE SUPERINTENDENT.

4. DEMOLITION MATERIALS SHALL BE SENT TO RECYCLE CENTER WHERE EVER POSSIBLE IN PREFERENCE TO LAND FILL.

EARTHWORKS

1. EROSION AND SEDIMENTATION CONTROL SHALL BE IN PLACE AND APPROVED PRIOR TO ANY SITE DISTURBANCE

2. OVER ENTIRE AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS, FENCES etc. AND REMOVE FROM SITE.

3. STRIP TOPSOIL. AVERAGE 100mm THICK WHICH SHALL BE RETAINED ON SITE AND UTILISED EFFECTIVELY TO ENCOURAGE APPROPRIATE RE VEGETATION.

4. ANY EXCESS FILL SHALL BE STOCKPILED ON SITE IN A LOCATION AS AGREED WITH SUPERINTENDENT FOR USE IN FUTURE STAGES.

5. SELECT FILL FOR BASIN WALLS SHALL BE CONFIRMED SUITABLE FOR USE IN AS DAM WALL MATERIAL BY GEOTECH ENGINEER PRIOR TO COMMENCEMENT OF WALL CONSTRUCTION

6. EXCAVATE AND REMOVE ANY UNSUITABLE SOFT AREAS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS IN ACCORDANCE WITH SITE DIRECTION BY GEOTECHNICAL ENGINEER.

7. WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.

8. ALL LOT FILLING SHALL BE COMPLETED UNDER LEVEL 1 GEOTECHNICAL SUPERVISION AND CERTIFIED.

9. FILLING IS TO BE OF SOUND CLEAN MATERIAL, REASONABLE STANDARD AND FREE FROM LARGE ROCKS, STUMPS, ORGANIC MATTER AND OTHER DEBRIS.

10. PLACING OF FILLING ON THE PREPARED AREAS SHALL NOT COMMENCE UNTIL THE AUTHORITY TO DO SO HAS BEEN OBTAINED FROM SUPERINTENDENT OR GEOTECHNICAL ENGINEER.

11. ALL VERGES ADJACENT TO ROADS AND ALL AREAS ARE TO BE DRESSED WITH 100mm CLEAN SANDY TOPSOIL AND TURFED.

12. TOPSOIL SHALL NOT BE PLACED OVER BULK EARTHWORKS PAD OR LOTS FOR FUTURE DWELLINGS.

13. ALL DETENTION BASINS TO BE TOPSOILED AND TURFED.

GEOTEXTILE FABRIC

1. GEOTEXTILE (GEOFABRIC) SHALL BE IN ACCORDANCE WITH AS3706.

ORIGINAL DRAWINGS ARE IN COLOUR

1. ONLY USE PLANS THAT ARE IN COLOUR.

CONCRETE NOTES

GENERAL

1. CARRY OUT ALL CONCRETE WORK IN ACCORDANCE WITH MATSPEC 0139 MINOR CONCRETE WORKS.

2. VERIFY ALL SETTING OUT DIMENSIONS - IF IN DOUBT ASK

3. DO NOT OBTAIN DIMENSIONS BY SCALING THE DRAWINGS.

4. MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 32MPa UNLESS OTHERWISE SHOWN

5. CEMENT SHALL BE GP PORTLAND CEMENT IN ACCORDANCE WITH AS3972 AND BLENDED CEMENTS. NO ADMIXTURES WILL BE USED WITHOUT APPROVAL

6. AGGREGATE AND SAND SHALL BE CLEAN, HARD AND DURABLE IN ACCORDANCE WITH AS 2758.1 CONCRETE AGGREGATES (100% PASSING THE 20mm SIEVE)

7. CLEAR COVER TO ANY REINFORCEMENT NEAREST TO THE CONCRETE SURFACE SHALL BE 50mm.

STORMWATER NOTES:

1. ALL PIPES SHALL BE RUBBER RING JOINTED REINFORCED CONCRETE PIPES OR BOX CULVERTS.

2. ALL STORMWATER DRAINAGE WORKS ARE TO BE CONSTRUCTED TO MUSWELLBROOK COUNCIL'S AUSPEC SPECIFICATIONS AND THE GENERAL SPECIFICATION.

3. THE CONTRACTOR SHALL UNDERTAKE ALL TESTING AND ARRANGE ALL INSPECTIONS AS SET OUT IN THE INSPECTION TEST PLAN AT HIS COST.

4. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUSWELLBROOK COUNCIL'S STANDARD DRAWINGS. STEP IRONS AT 300MM SPACINGS, SHALL BE PROVIDED IN DRAINAGE PITS MORE THAN 1.2M DEEP.

5. CONCRETE FOR DRAINAGE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPa.

6. PIPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3725-2007 FOR SUPPORT TYPE HS2 IN TRENCHES. WHERE SUBSOIL DRAINAGE IS TO BE INSTALLED, APPROPRIATE FILTER MATERIAL WILL BE SUBSTITUTED FOR ORDINARY FILL.

7. CEMENT-STABILIZED SANDBAG TRENCHSTOPS PACKED AROUND THE PIPES AND ACROSS THE TRENCH EXTENDING TO WITHIN 30MM OF THE FINISHED SURFACE LEVEL OR THE SUBGRADE LEVEL, WHICHEVER IS APPRPRIATE, SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS.

8. PIPES WITH SUB-SOIL DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL SHOWN.

9. THE CONTRACTOR SHALL TAKE ALL MEASURES TO PROTECT THE PIPES AND PITS FROM DAMAGE DURING CONSTRUCTION. ANY PIPES OR STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.

10. PITS TO BE STEEL BAR / WIRE REINFORCED PITS CLASS D DESIGN FOR ALL ROADWAYS, AND IN ACCORDANCE WITH AUS-SPEC.

GENERAL INSTRUCTIONS

1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
2. THE SITE SUPERINTENDENT WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THIS SPECIFICATION.
3. ALL BUILDERS AND SUB-CONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS.

CONSTRUCTION SEQUENCE

4. THE SOIL EROSION POTENTIAL ON THIS SITE IS TO BE MINIMISED.
HENCE WORKS SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE -
(A) INSTALL SEDIMENT FENCES
(B) CONSTRUCT OPEN SWALES TO DIVERT WATER FROM SITE AS NECESSARY AND DIRECTED BY THE SITE SUPERINTENDENT.
(C) CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT.
(D) INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
(E) UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS.
PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

5. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.

6. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL

7. STOCKPILE SITE SHALL BE AGREE UPON WITH SUPERINTENDENT AND WILL NOT BE LOCATED NEAR HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. INSTALLATION OF SEDIMENT FENCING SHALL BE UNDERTAKEN ON THE DOWN HILL SIDE OF STOCKPILES .

8. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.

9. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.

10. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

OTHER MATTERS

11. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.

12. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:
(A) PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE.

- (B) ENSURING THAT NOTHING IS NAILED TO THEM.

- (C) PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS.

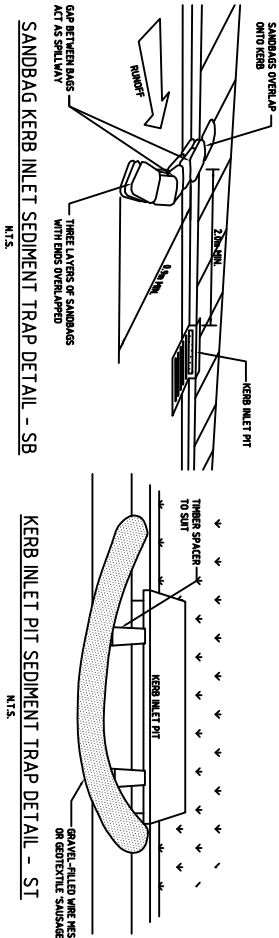
- (I) ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICH EVER IS THE GREATER.

- (II) A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300 MILLIMETRES DEPTH.

- (III) CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY AND NOT TO COMPACT THE SOIL AROUND THEM.

SITE INSPECTION & MAINTENANCE

13. RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.



PLANS PREPARED BY

CLIENT

MM HYNDES BAILEY & Co.
REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN
Surveying the Hunter since 1920



NORTHVIEW ESTATE - STAGE 6 & 7

GENERAL NOTES

DESIGN: MC / UK / RJ

DRAWN: MC / UK / RJ

SCALE:

ORIGINAL DRAWING SIZE: A1

LGA: MUSWELLBROOK

FILE: 224103_ST6-7_CIVIL

SHEET: NOTE002

PLAN ISSUE

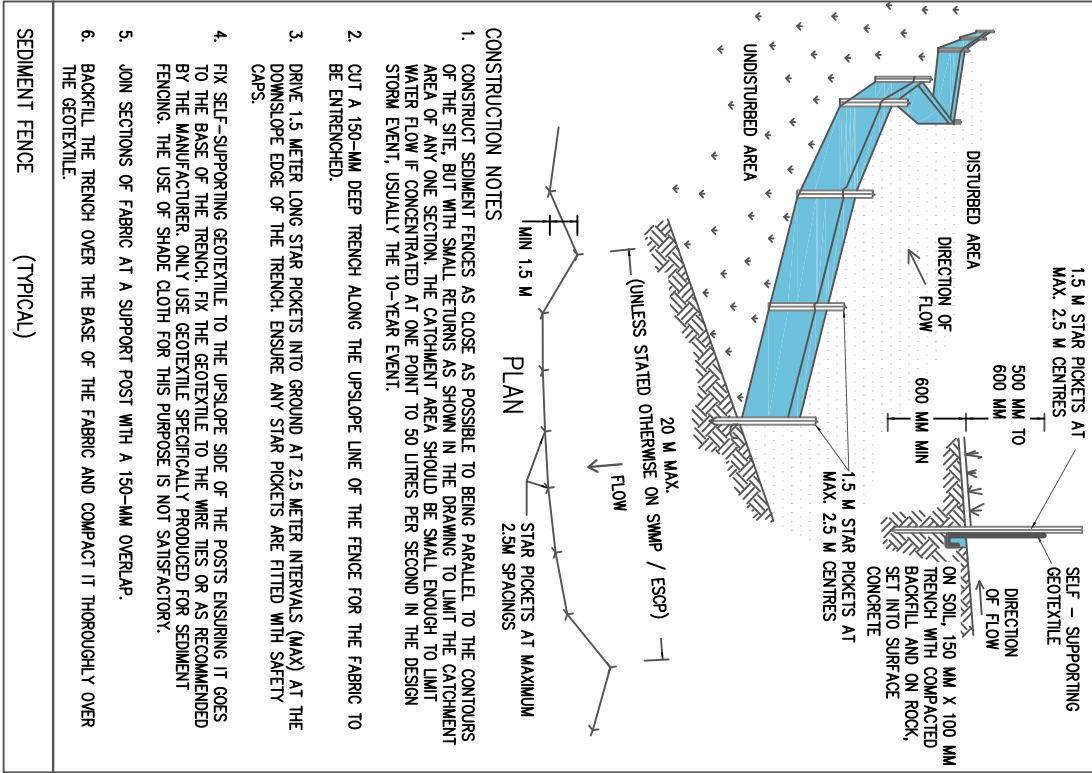
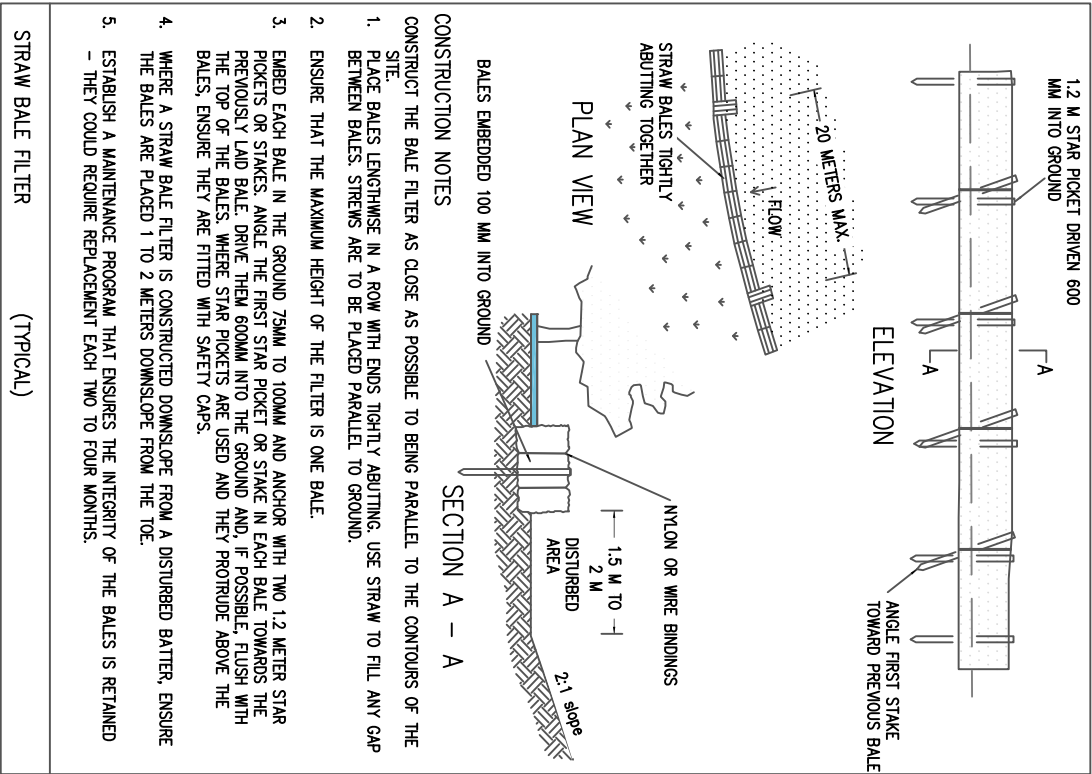
A FOR DEVELOPMENT APPROVAL

15.11.2024

REV: A

JOB REF: 224103

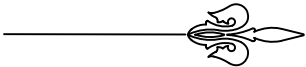
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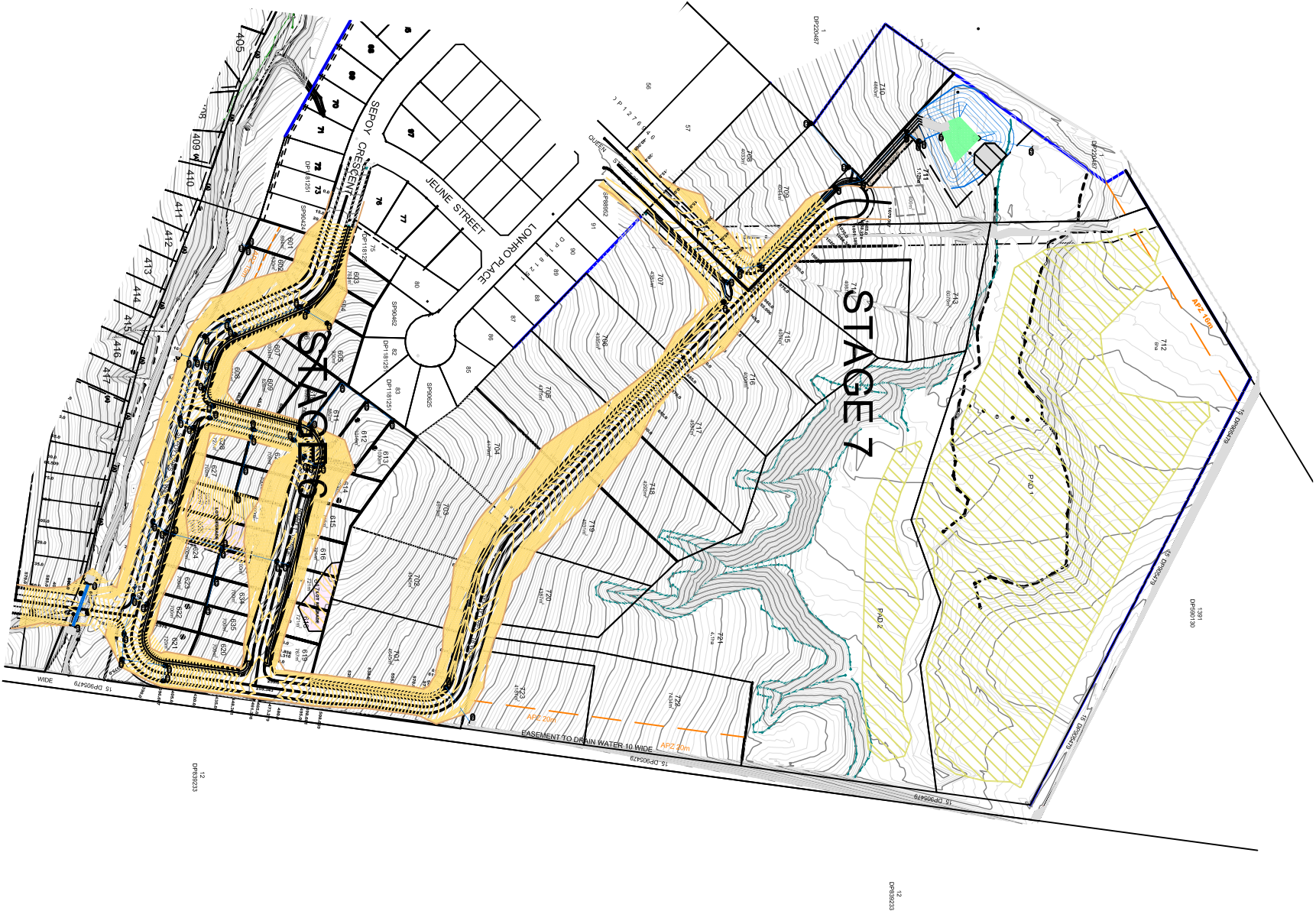
SEDIMENT RUN-OFF CONTROL


RC1 THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES GENERALLY IN ACCORDANCE WITH THE GUIDELINES OF THE N.S.W. DEPT. OF CONSERVATION AND LAND MANAGEMENT AS NECESSARY TO PREVENT RUN-OFF FROM SITE OF SEDIMENT RESULTING FROM THESE WORKS. SUCH MEASURES SHALL ALSO COMPLY WITH REQUIREMENTS OF COUNCIL.

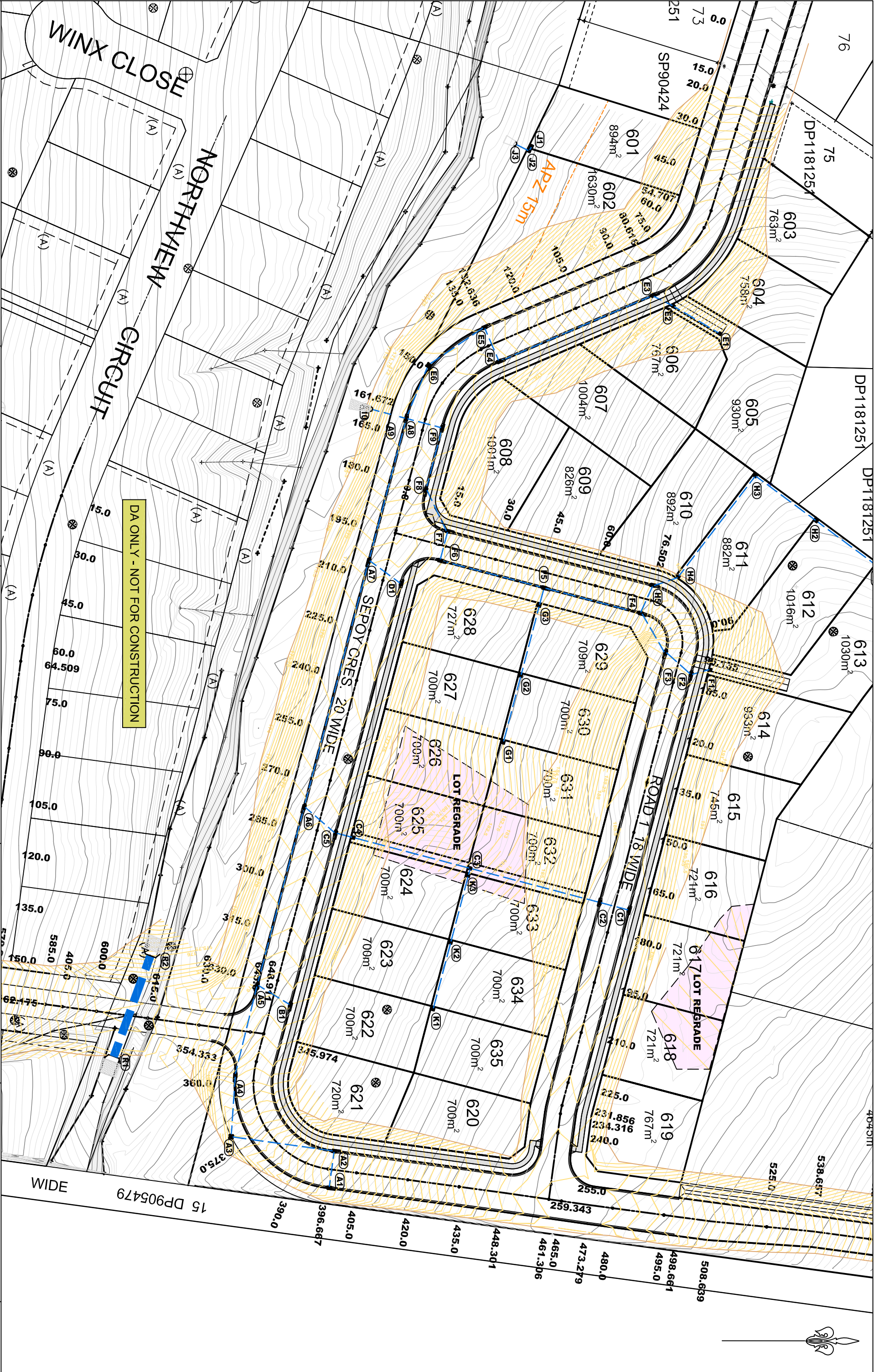
RC2. GRADE FINISHED SURFACE TO SHED WATER EVENLY WITHOUT CHANNELING



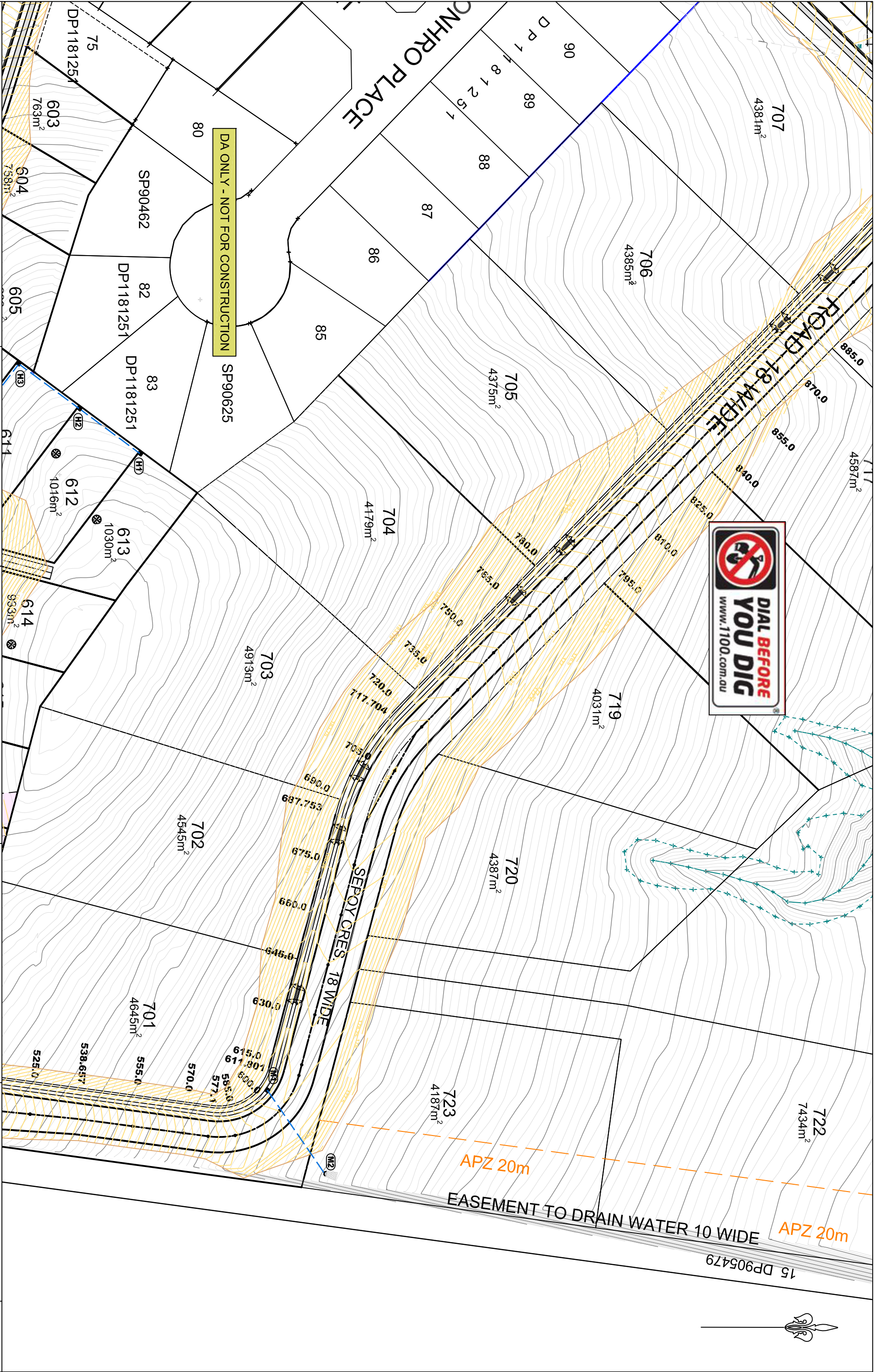
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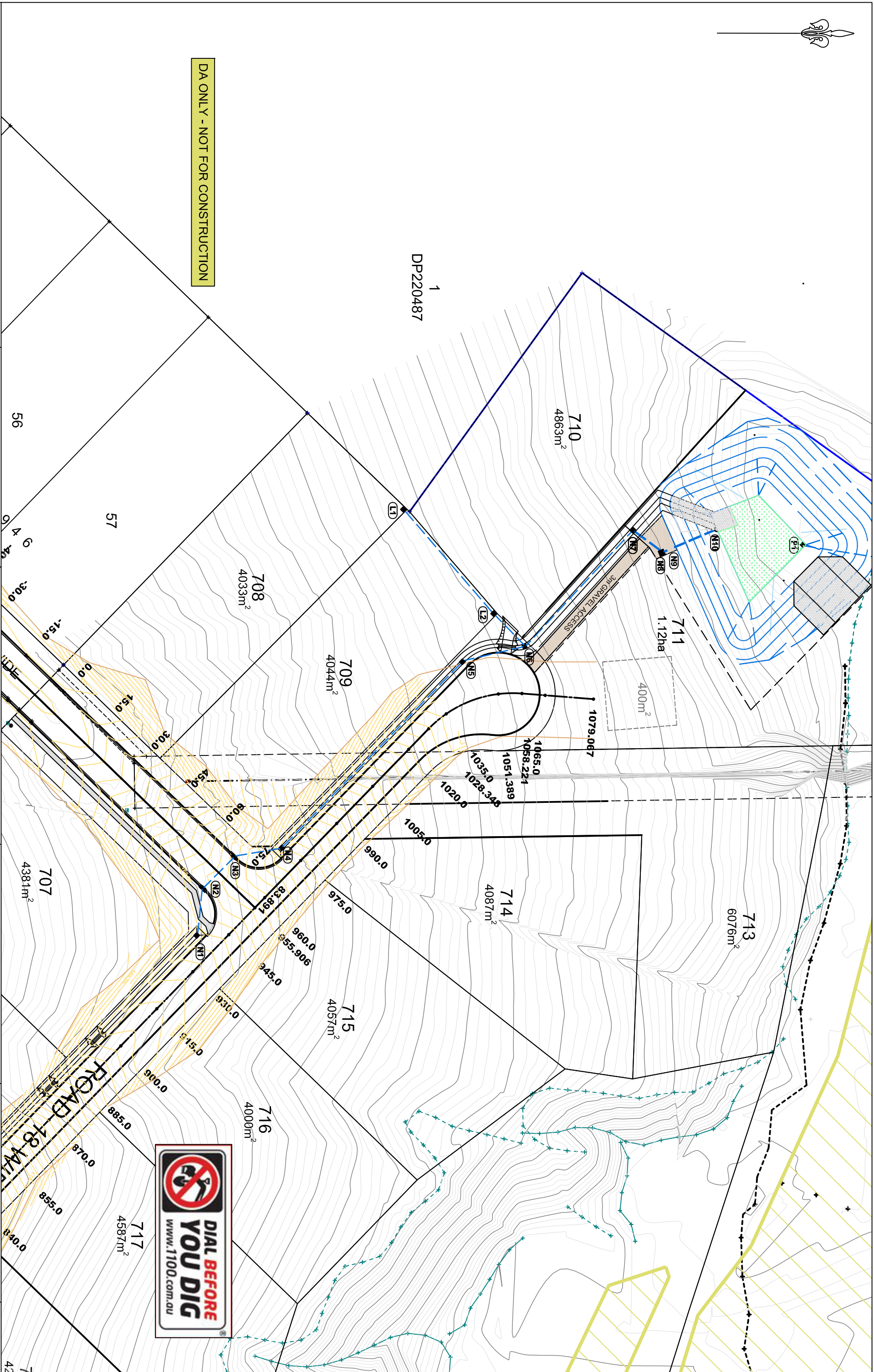
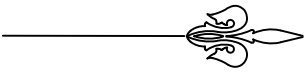
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<div>MM HYNDES BAILEY & Co.</div> <div>REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN</div> <div>Surveying the Hunter since 1920</div> <div>Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveyors.com.au</div> <div>132 Kelly Street (PO Box 432), SCONE NSW 2337</div> <div></div>		<div>TINDALE</div>	
GENERAL ARRANGEMENT OVERALL		H.SCALE: 1:1000 CONT. INT: 0.5m	
NORTHVIEW ESTATE - STAGE 6 & 7		ORIGINAL DRAWING SIZE: A1 MGA94	
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		SHEET: GA001	
		PLAN ISSUE	
		A FOR DEVELOPMENT APPROVAL	
		REV: A	
		JOB REF: 224103	
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GENERAL ARRANGEMENT OVERALL			NORTHVIEW ESTATE - STAGE 6 & 7		
DESIGN: MC / UK / RJ			DRAWN: MC / UK / RJ		
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SHEET: GA002			REV: A		
			JOB REF: 224103		
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Ph: 02 65434275 Fax: 02 65434400 Email: office@hbsurveys.com.au			
132 Kelly Street PO Box 432, SCONE NSW 2337			
GENERAL ARRANGEMENT - STAGE 1		H.SCALE: 1:500	
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SHEET: GA003		JOB REF: 224103	
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GENERAL ARRANGEMENT - STAGE 1
NORTHVIEW ESTATE - STAGE 6 & 7

H.SCALE: 1:500
ORIGINAL DRAWING SIZE: A1
CONT. INT: 0.5m
MGA94

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Surveying the Hunter since 1920



TINDALE

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FILE: 224103_ST6-7_CIVIL

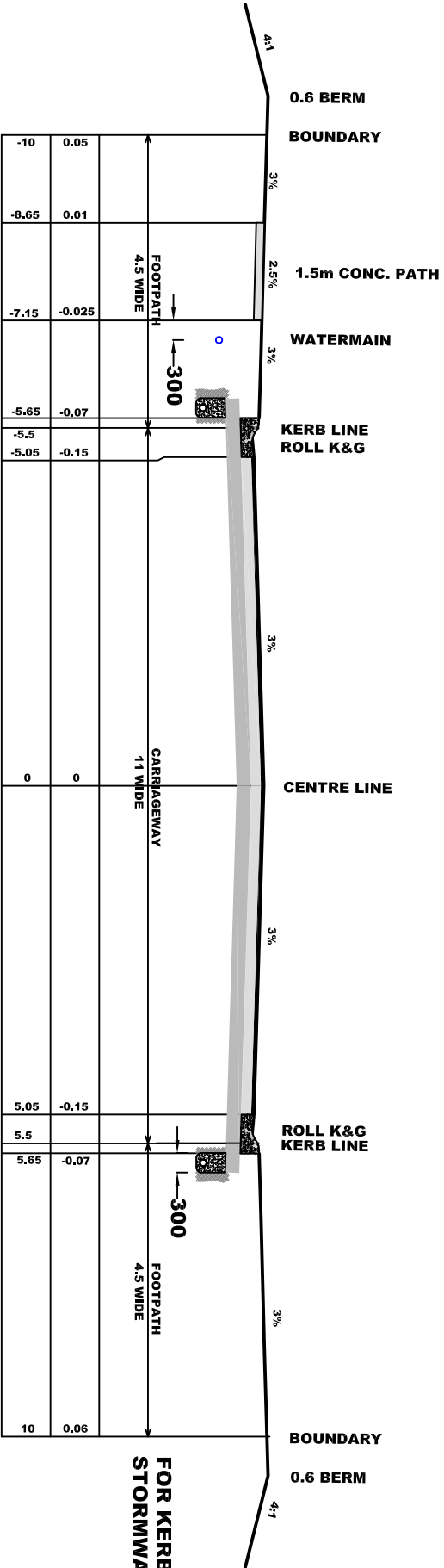
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REV: A

JOB REF:
224103

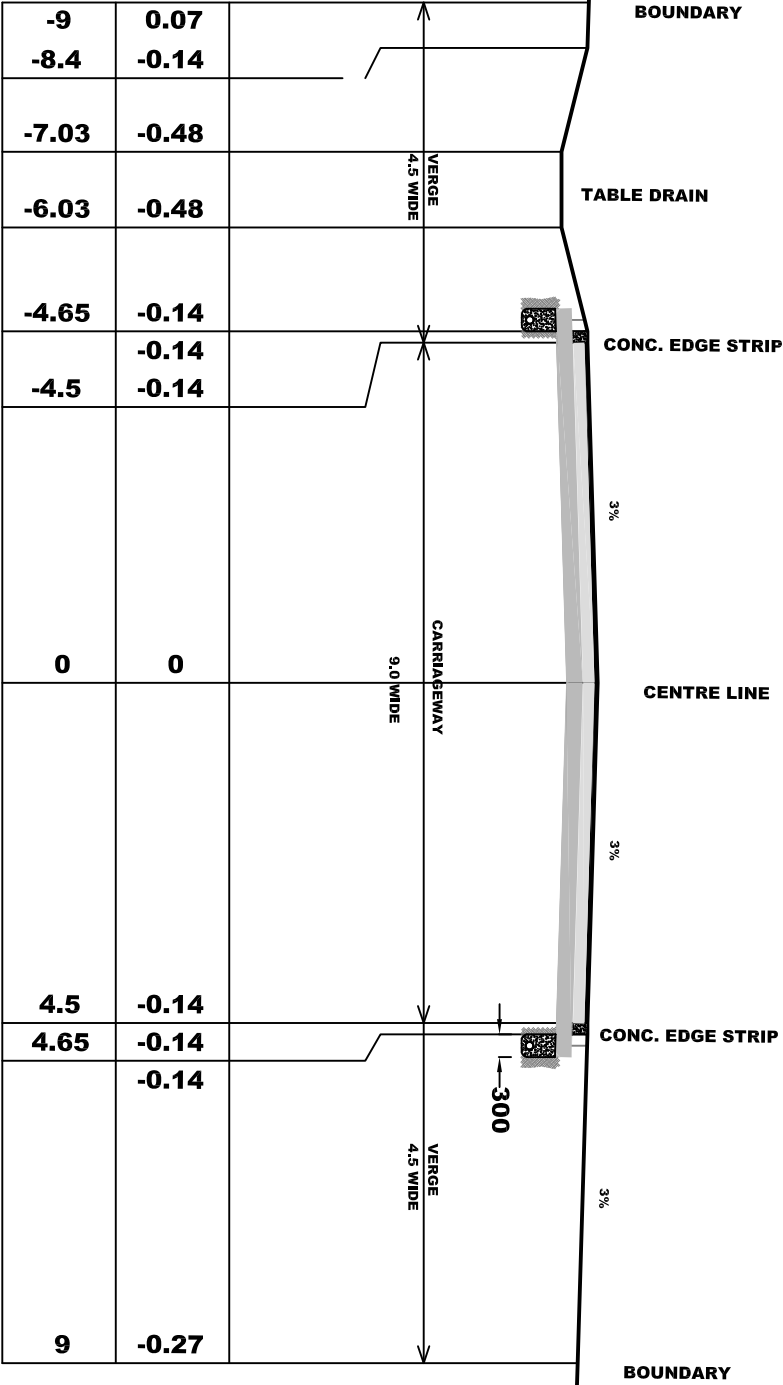


Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurvey.com.au
132 Kelly Street PO Box 4321, SCONE NSW 2337



FOR KERBS WITH PIPES UNDER SEE TYPICAL DETAIL
STORMWATER TRENCH WITH SUBSOIL

TYPICAL SECTION SEPOY CRESCENT - CH 20 TO CH 500



TYPICAL SECTION SEPOY CRESCENT - CH 538 TO CH 1028

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ROAD 1
TYPICAL CROSS SECTIONS
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN: MC / UK / RJ

SCALE: H - 1:50 V - 1:50
ORIGINAL DRAWING SIZE: A1

LGA: MUSWELLBROOK

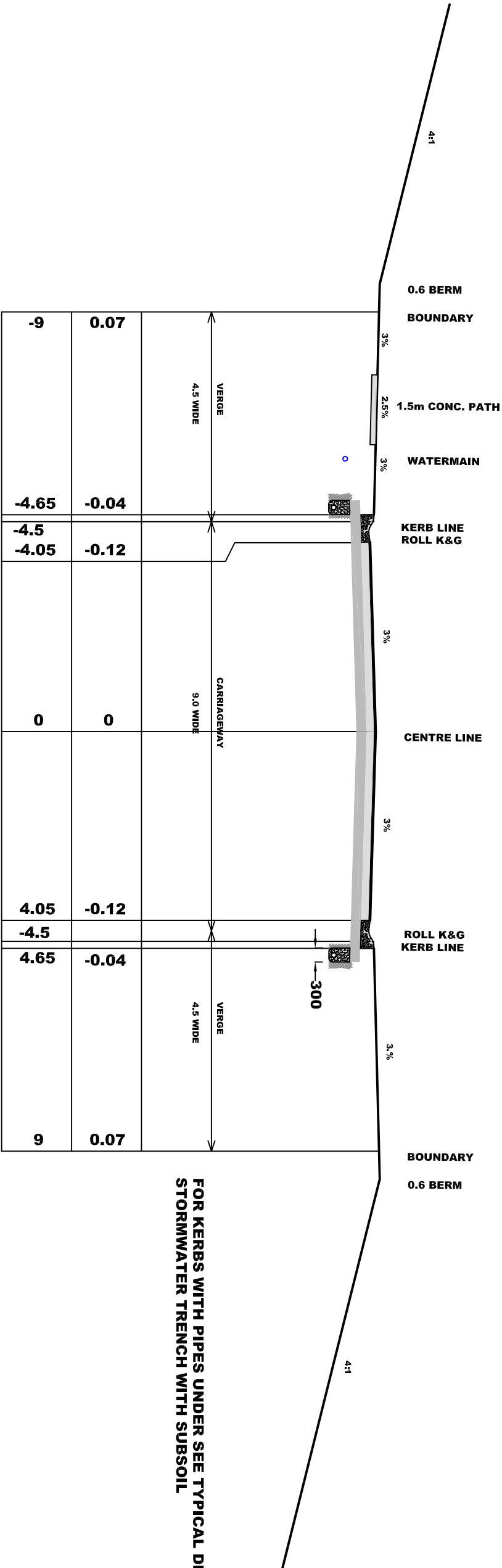
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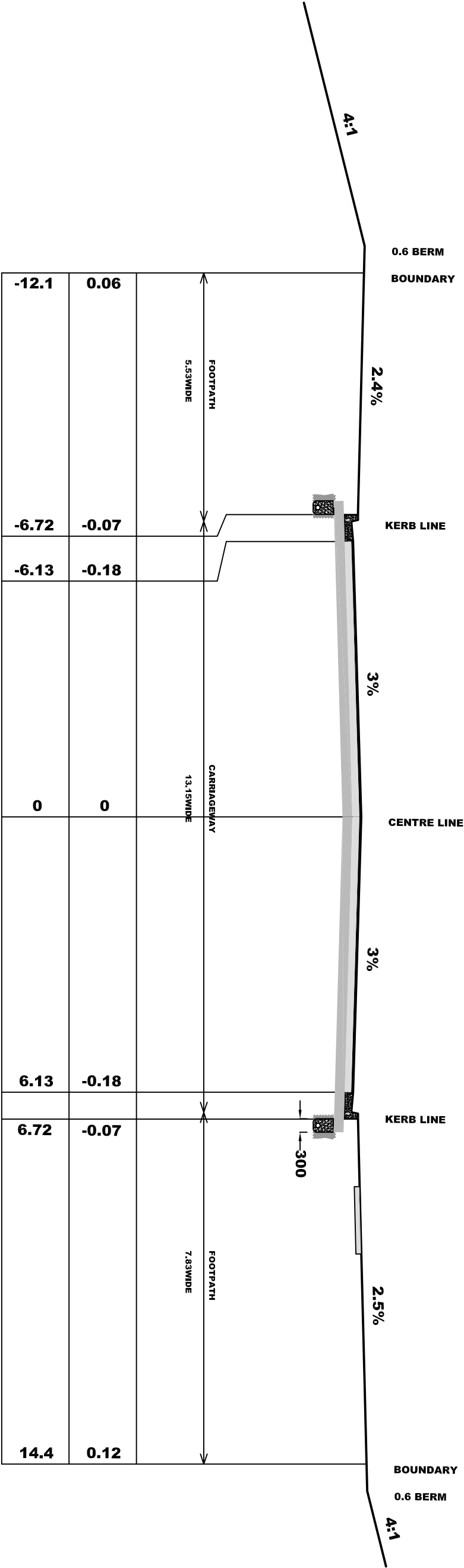
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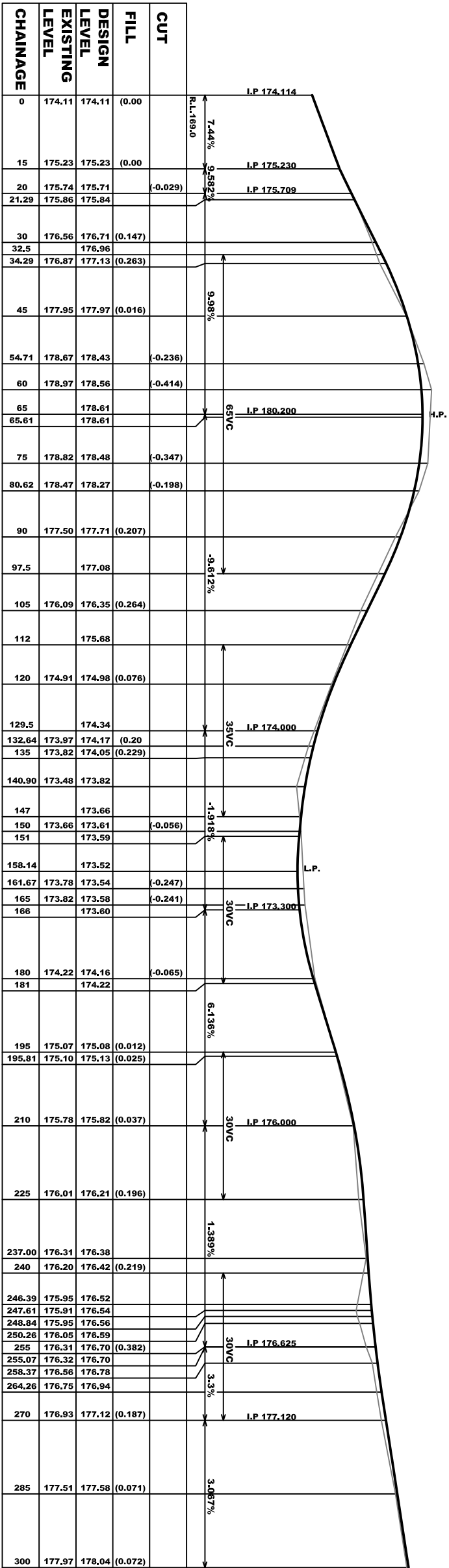
FOR KERBS WITH PIPES UNDER SEE TYPICAL DETAIL
STORMWATER TRENCH WITH SUBSOIL

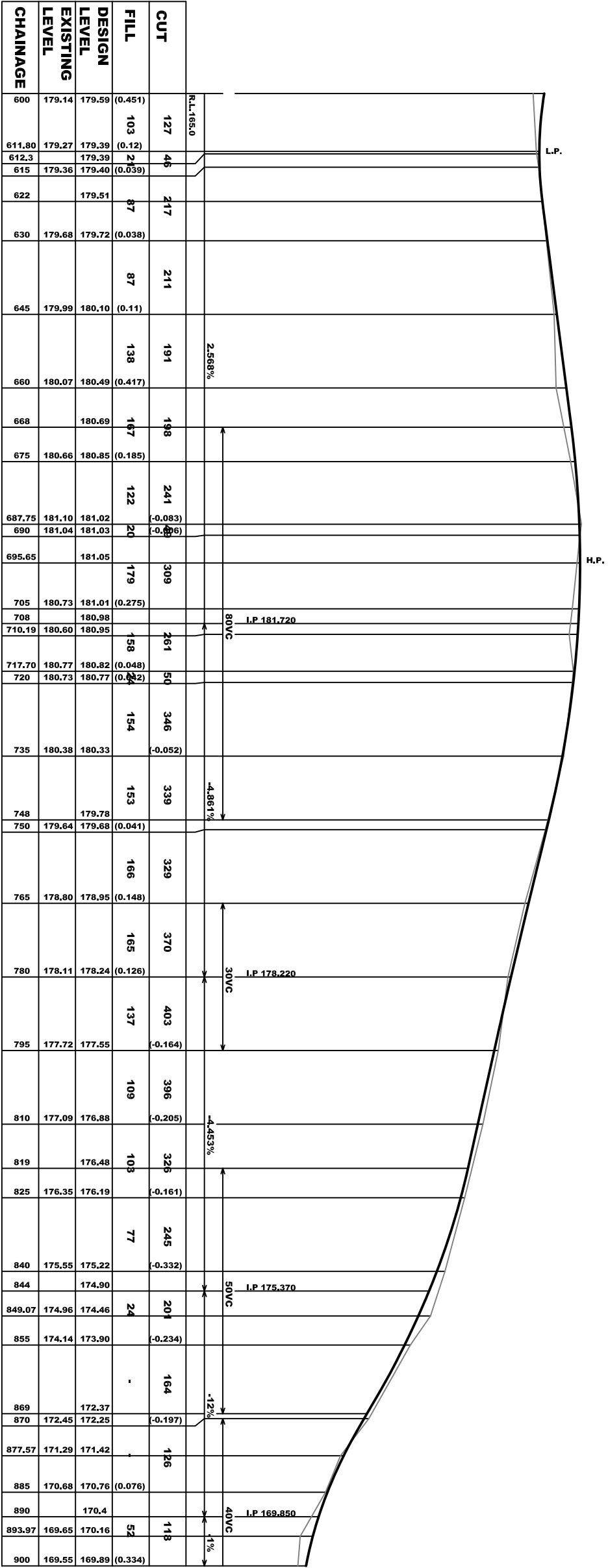
TYPICAL SECTION ROAD 1



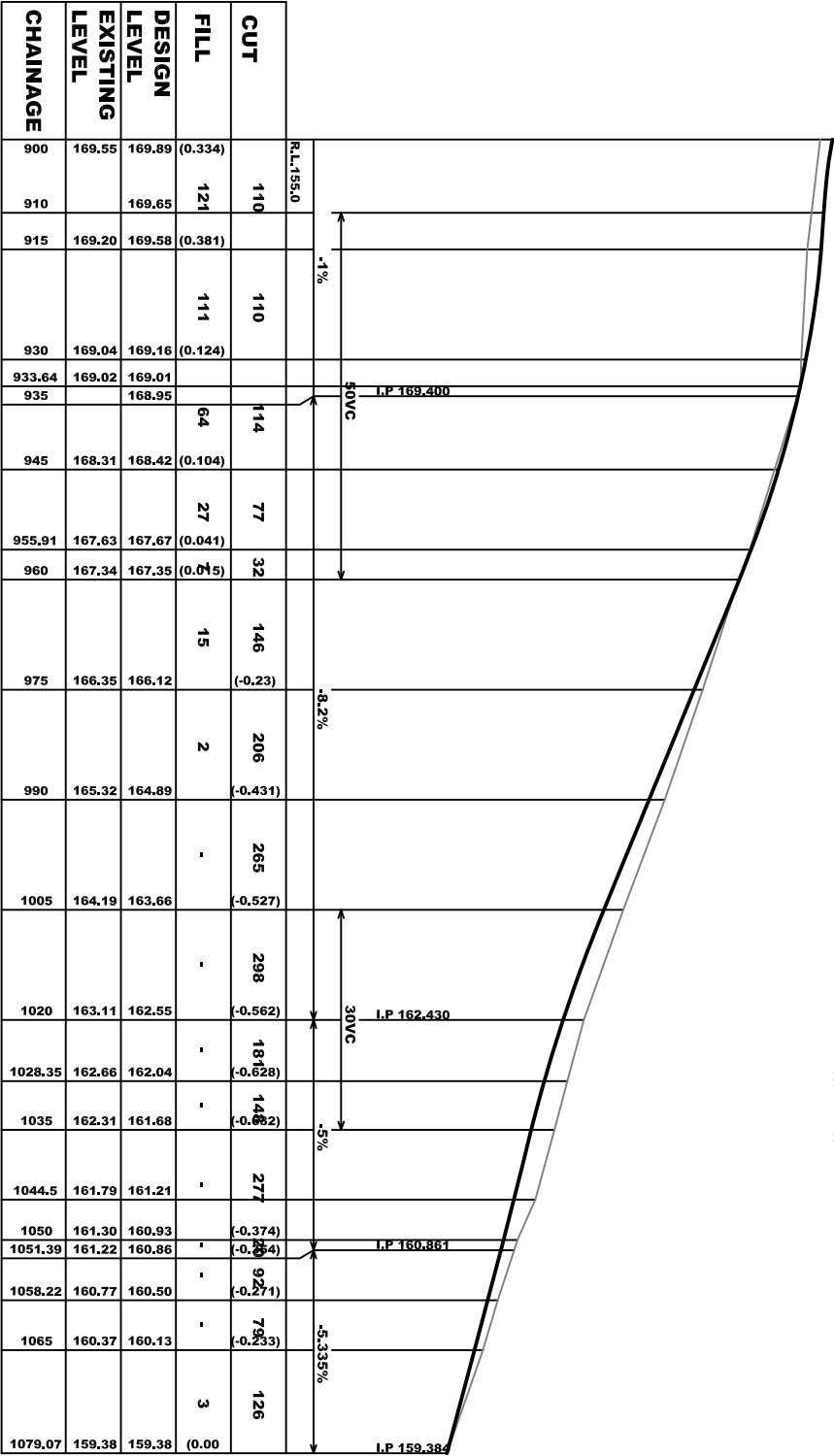
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ROAD 2			TYPICAL CROSS SECTIONS		
NORTHVIEW ESTATE - STAGE 6 & 7			DESIGN: MC / UK / RJ		
DRAWN: MC / UK / RJ			SCALE: H - 1:50 V - 1:50		
ORIGINAL DRAWING SIZE: A1			PLAN ISSUE		
LGA: MUSWELLBROOK			A FOR DEVELOPMENT APPROVAL		
FILE: 224103-ST6-7-CIVIL			REV: A		
SHEET: TYP002			JOB REF: 224103		





SEPOY CRESCENT
H=1:500 V=1:100



SEPOY CRESCENT
H=1:500 V=1:100

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H=1:500 V=1:100

ROAD LONGITUDINAL SECTION
ROAD 1, ROAD 2 AND ROAD 3
NORTHVIEW ESTATE - STAGE 6 & 7

SCALE: H - 1:500 V - 1:100
ORIGINAL DRAWING SIZE: A1

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MM HYNDES BAILEY & Co.

REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN

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Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveyors.com.au
132 Kelly Street (PO Box 432), SCONE NSW 2337



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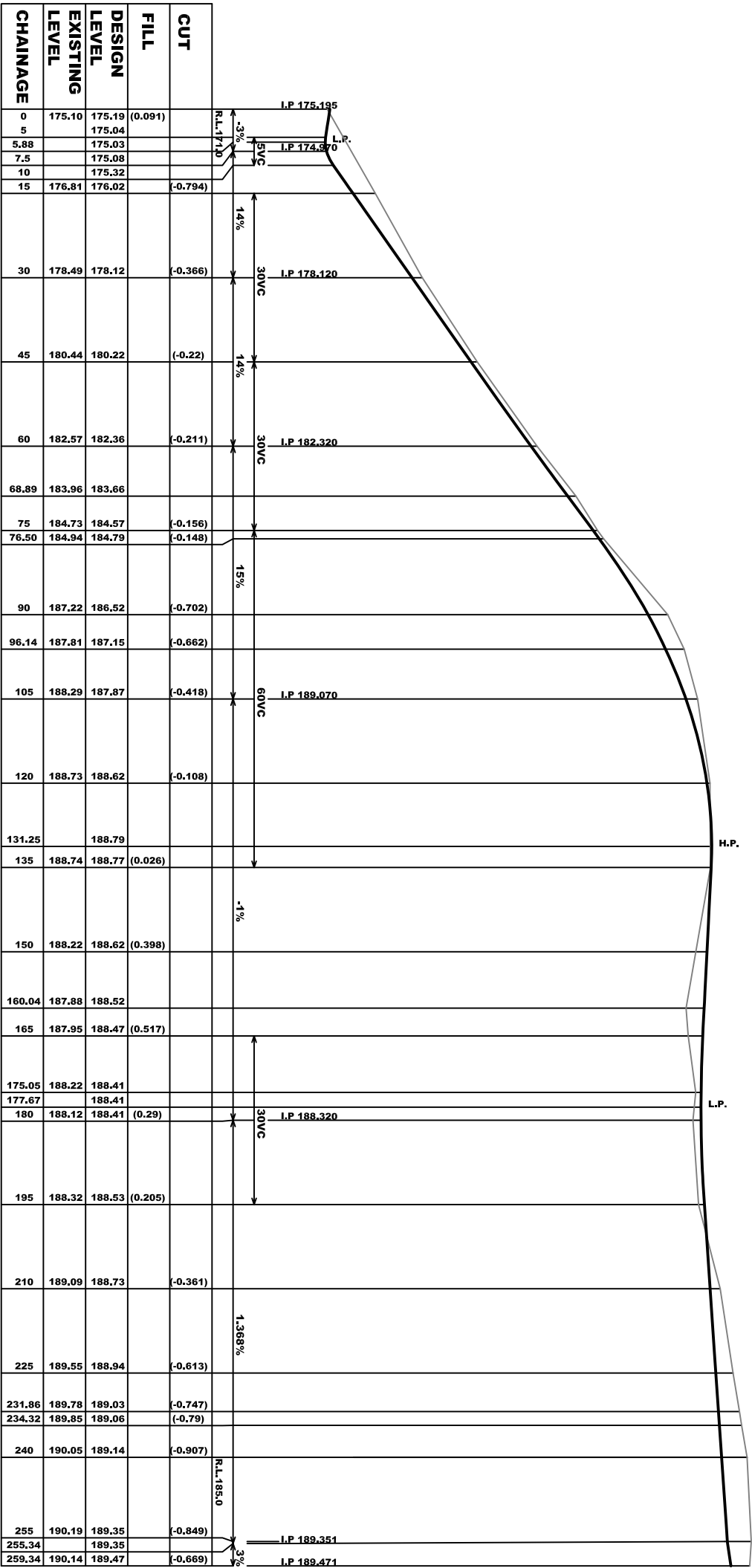
FILE: 224103_ST6-7_CIVIL

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REV: A


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ROAD LONGITUDINAL SECTION
ROAD 1, ROAD 2 AND ROAD 3
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN: MC / UK / RJ

DRAWN: MC / UK / RJ

SCALE: H - 1:500 V - 1:100
ORIGINAL DRAWING SIZE: A1
LGA: MUSWELLBROOK

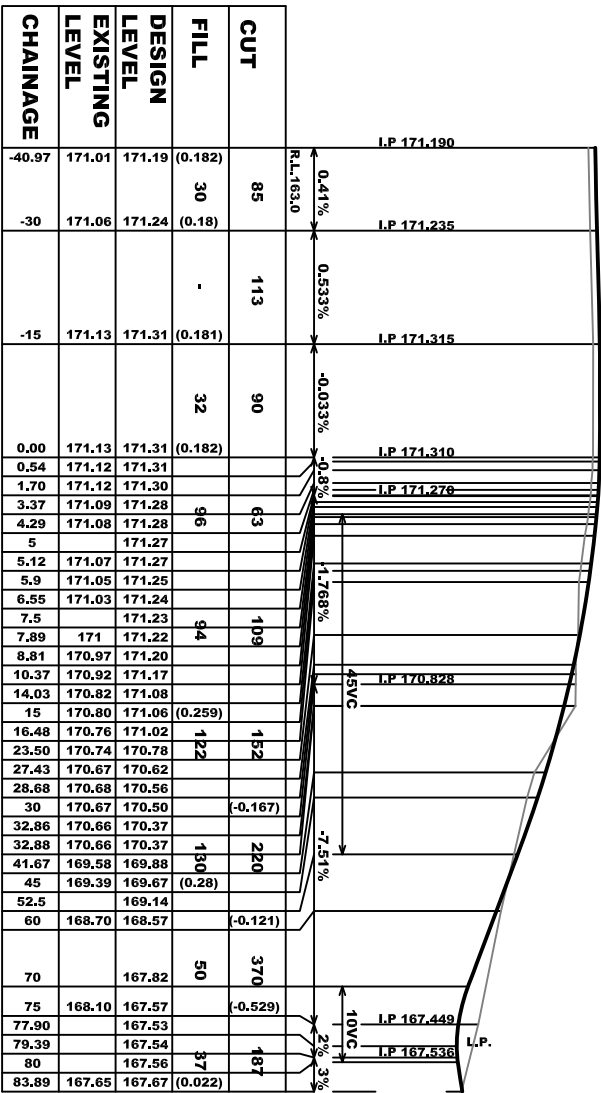
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PLAN ISSUE
FOR DEVELOPMENT APPROVAL

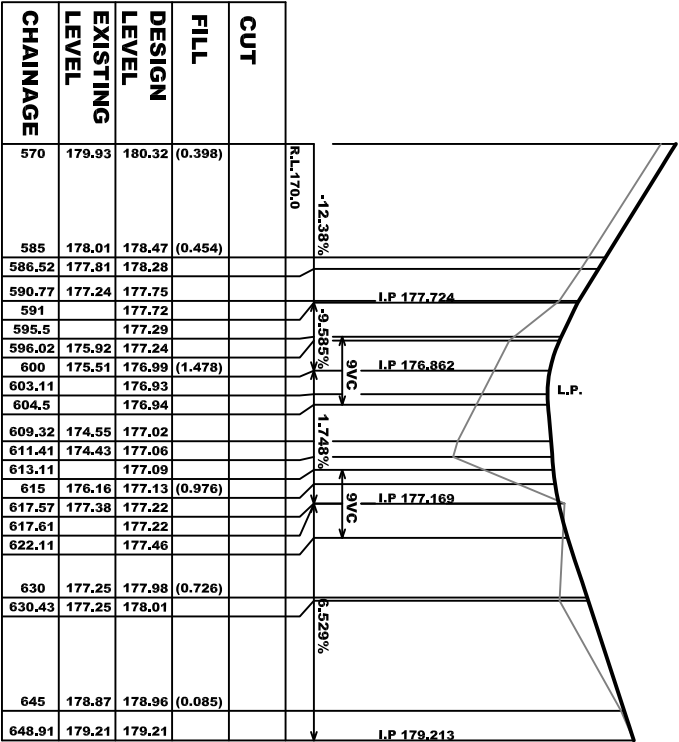
REV: A

JOB REF:
224103

15.11.2024



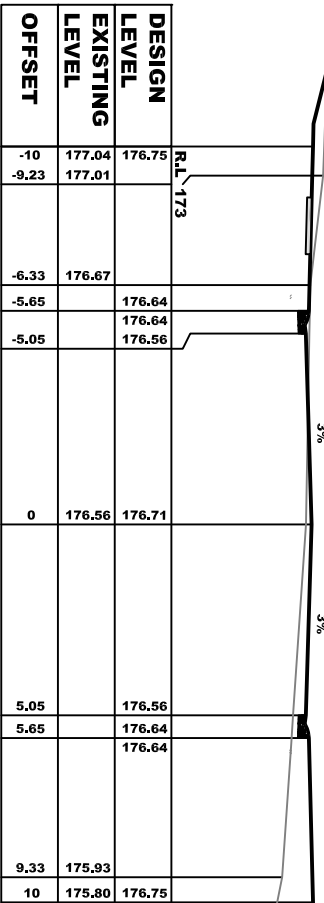
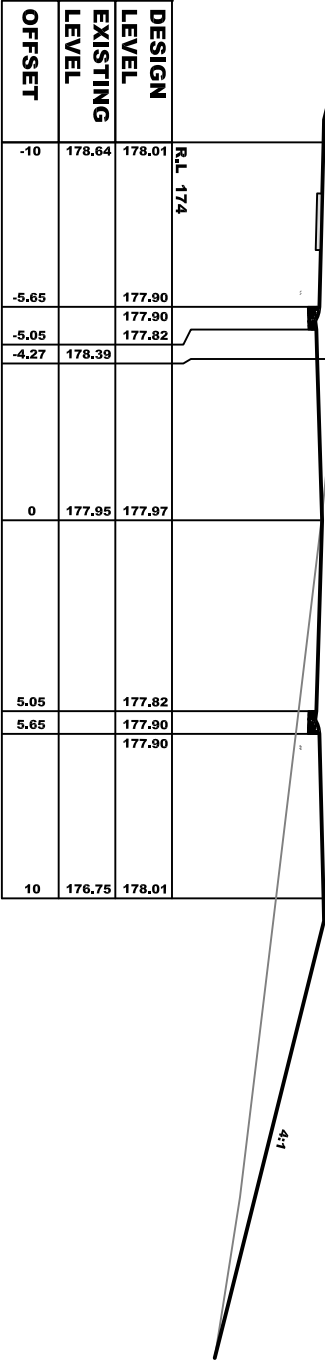
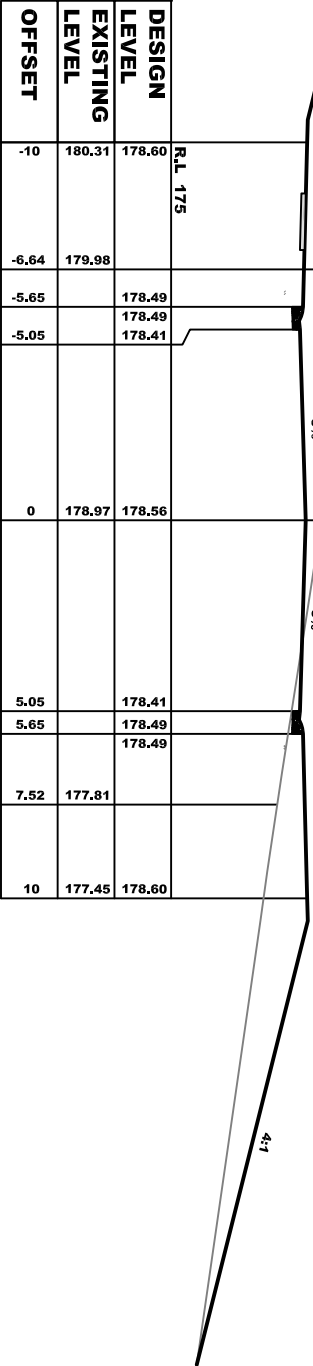
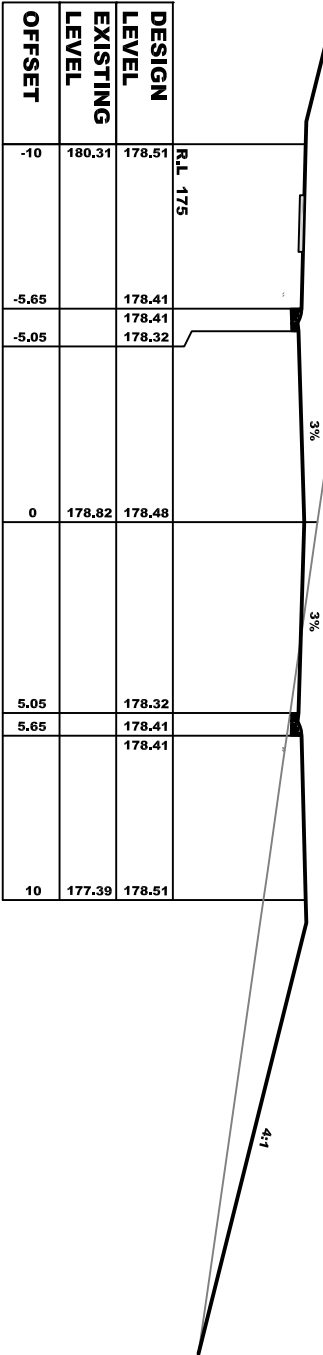
QUEEN STREET
H=1:500 V=1:100



ROAD.No.1
H=1:500 V=1:100

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PLANS PREPARED BY		CLIENT	
<div>MM HYNDES BAILEY & CO.<div>REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN</div><div>Surveying the Hunter since 1920</div><div>132 Kelly Street (PO Box 432), SCONE NSW 2337</div><div>Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au</div></div>		ROAD LONGITUDINAL SECTION ROAD 1, ROAD 2 AND ROAD 3	
<div>DESIGN:<div>MC / UK / RJ</div></div>		<div>DRAWN:<div>MC / UK / RJ</div></div>	
<div>SCALE: H - 1:500 V - 1:100 ORIGINAL DRAWING SIZE: A1</div>		<div>PLAN ISSUE A FOR DEVELOPMENT APPROVAL</div>	
<div>LGA: MUSWELLBROOK</div>		<div>REV: A</div>	
<div>FILE: 224103_ST6-7_CIVIL</div>		<div>JOB REF: 224103</div>	
<div>SHEET: LS004</div>			



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Surveying the Hunter since 1920

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ROAD 1
CROSS SECTIONS
NORTHVIEW ESTATE - STAGE 6 & 7

SCALE: H - 1:100 V - 1:100
ORIGINAL DRAWING SIZE: A1

PLAN ISSUE
A FOR DEVELOPMENT APPROVAL

DESIGN: MC / UK / RJ

DRAWN: MC / UK / RJ

FILE: 224103_ST6-7_CIVIL
SHEET: XS001

REV: A

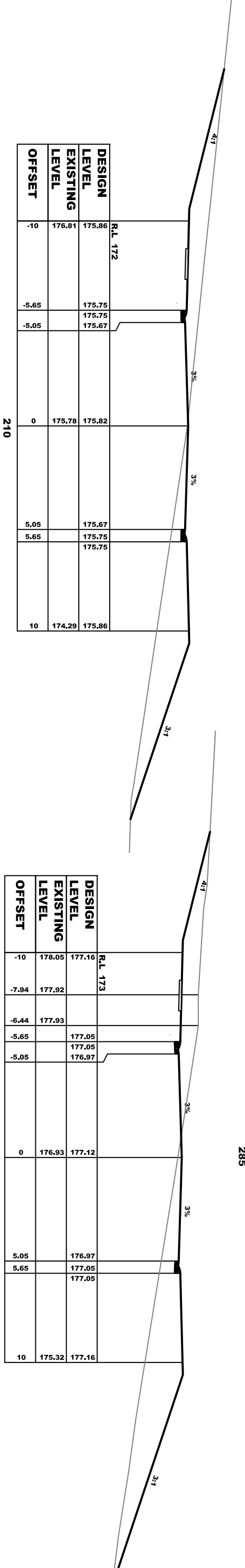
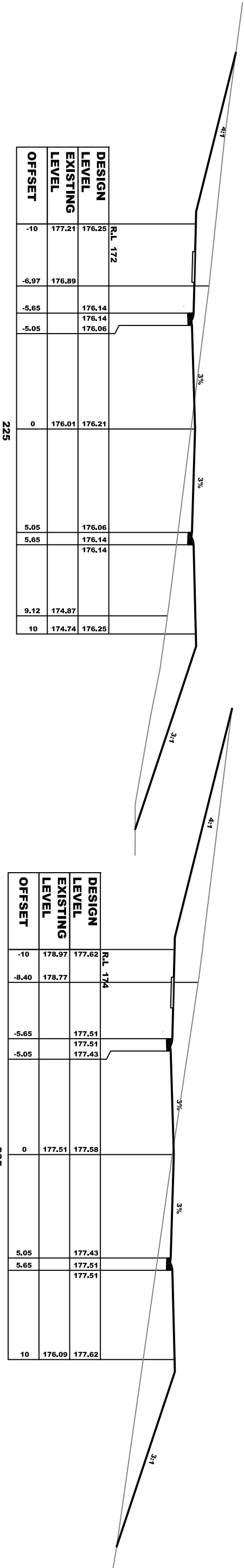
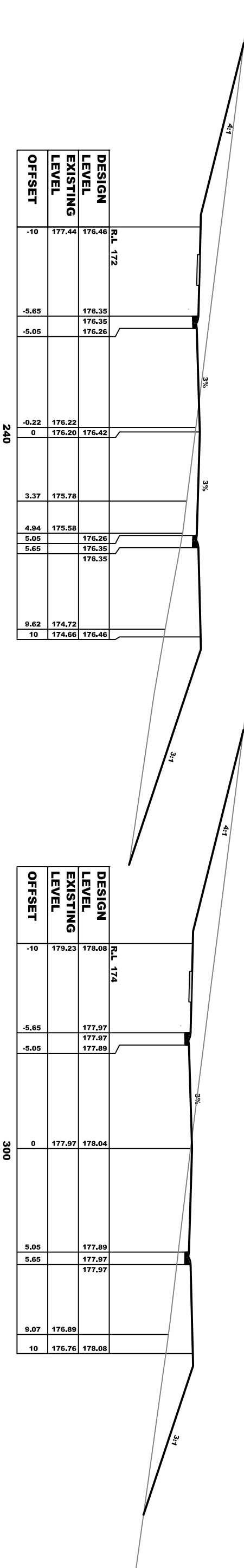
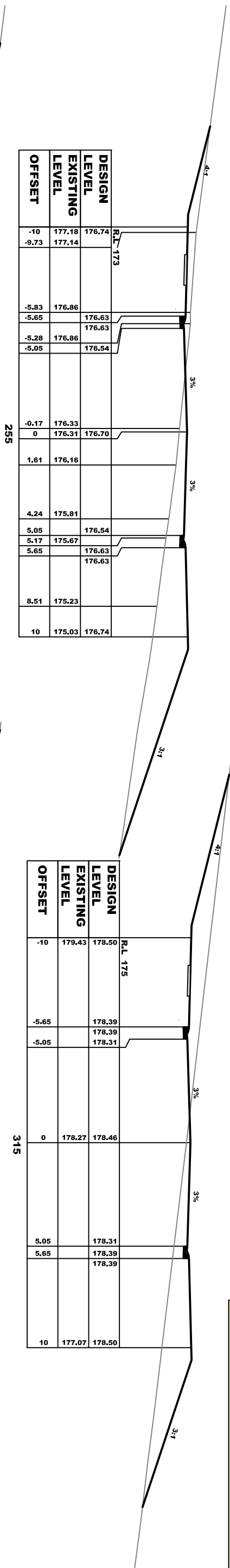
JOB REF: 224103



15.11.2024

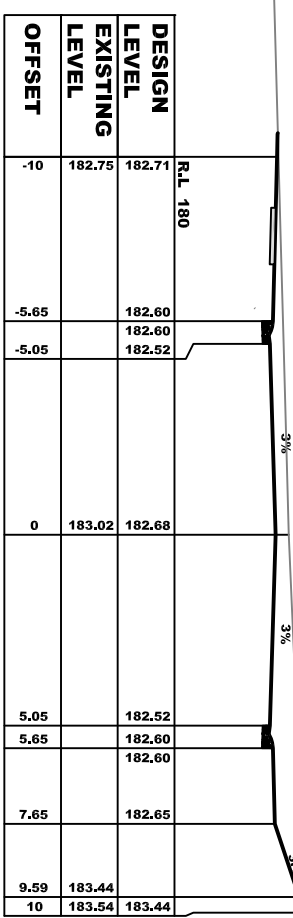
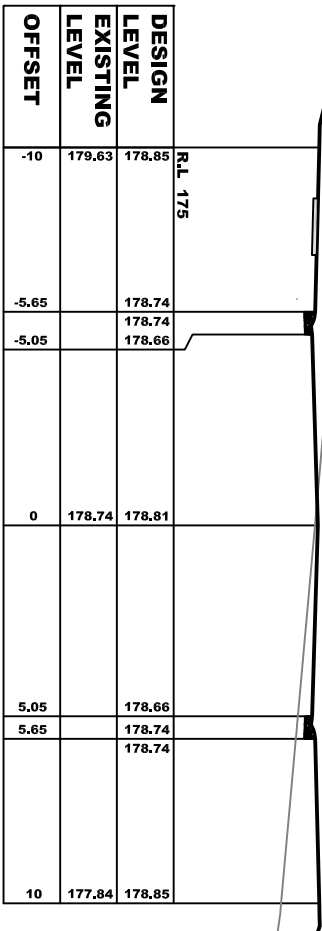
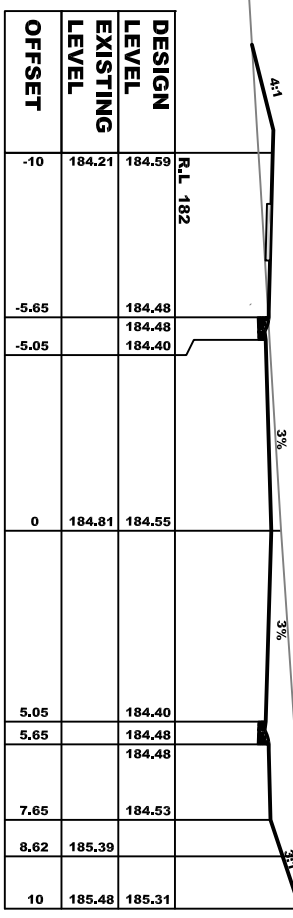
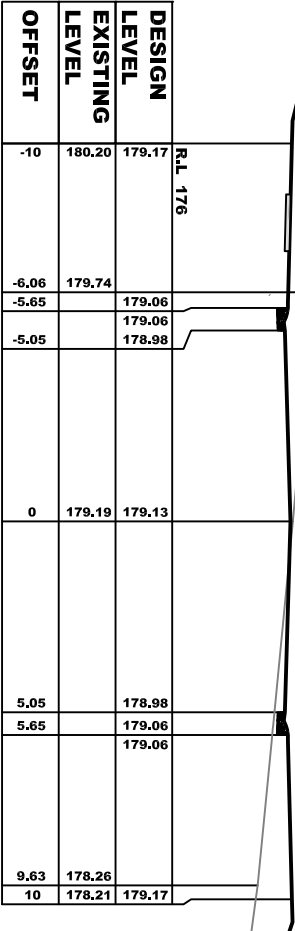
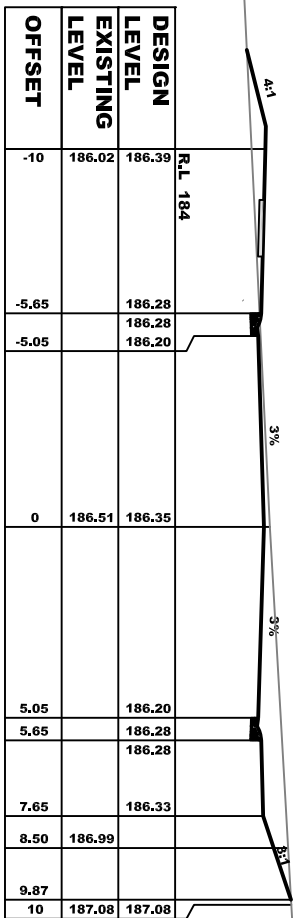
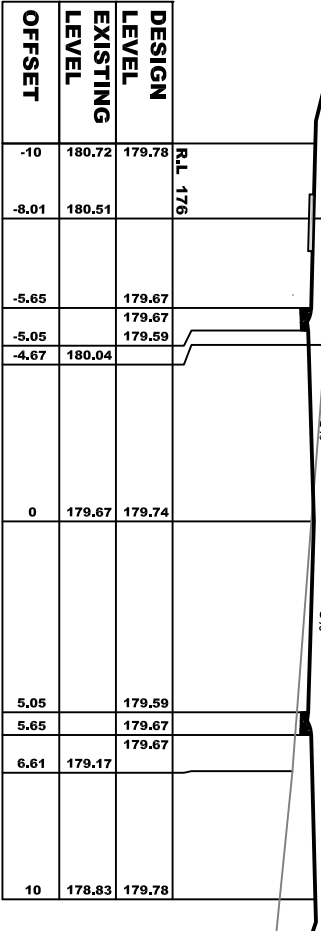
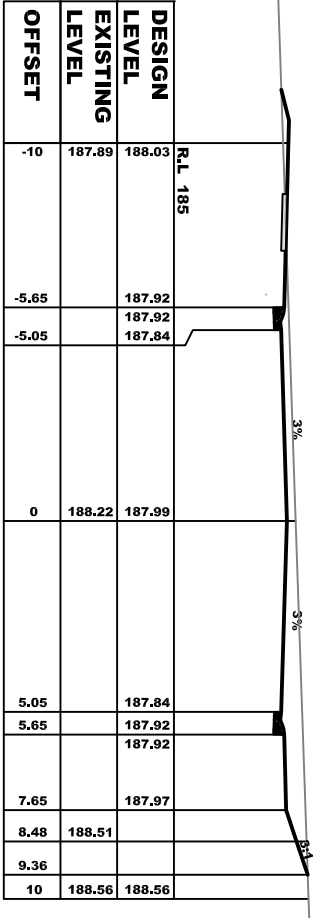
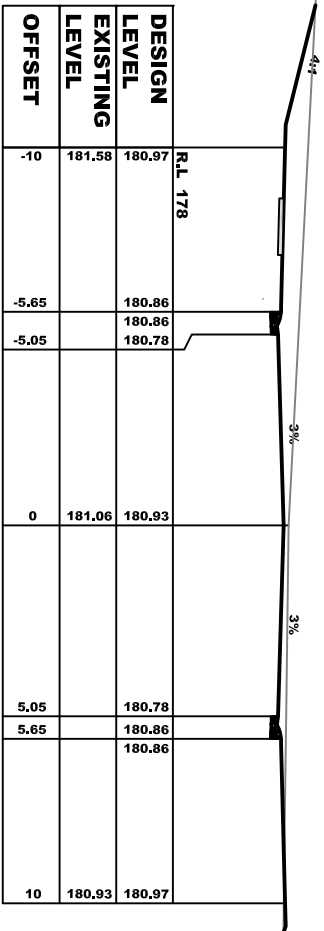


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MIM HYNDES BAILEY & CO. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN <i>Surveying the Hunter since 1920</i>			
		ROAD 2 CROSS SECTIONS - CH95.517 TO CH113.76 NORTHVIEW ESTATE - STAGE 6 & 7	
DESIGN: MC / UK / RJ		DRAWN: MC / UK / RJ	
LGA: MUSWELLBROOK		SCALE: H - 1:100 V - 1:100 ORIGINAL DRAWING SIZE: A1	
FILE: 224103_ST6-7 CIVIL		A FOR DEVELOPMENT APPROVAL	
SHEET: XS003		REV: A	
JOB REF: 224103		15.11.2024	



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MM HYNDES BAILEY & Co.

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TINDALE

ROAD 3
CROSS SECTIONS
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN
MC / UK / RJ

DRAWN
MC / UK / RJ

SCALE: H - 1:100 V - 1:100
ORIGINAL DRAWING SIZE: A1

PLAN ISSUE
A FOR DEVELOPMENT APPROVAL

LGA: MUSWELLBROOK

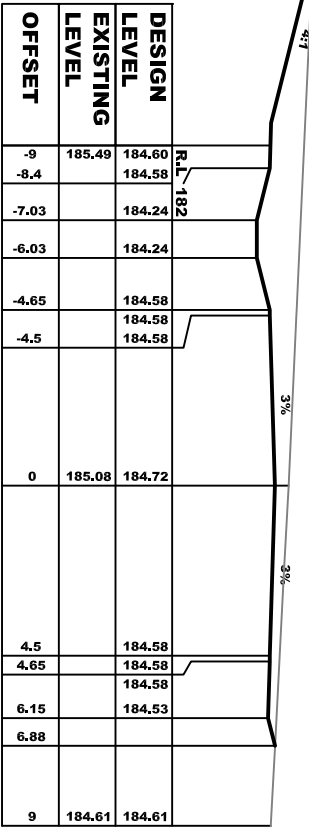
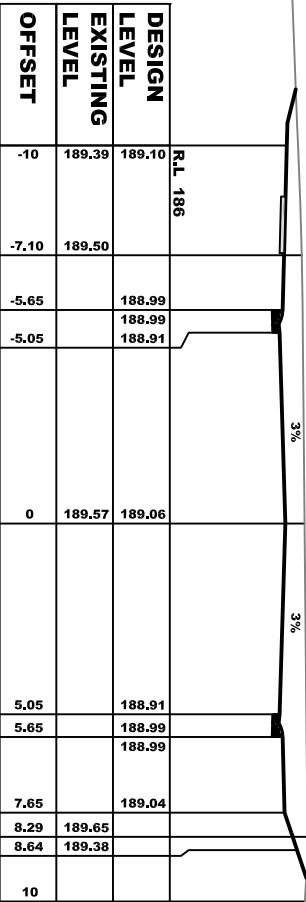
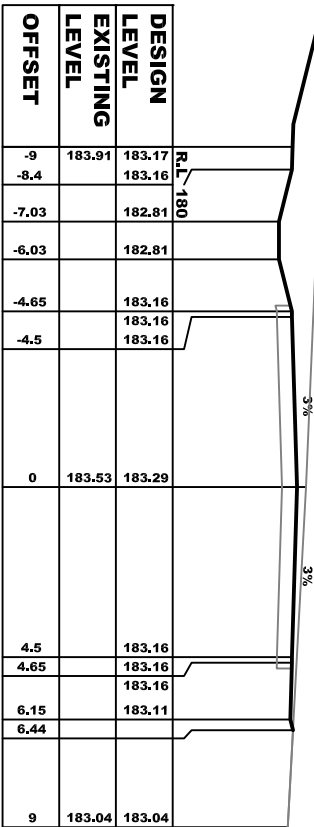
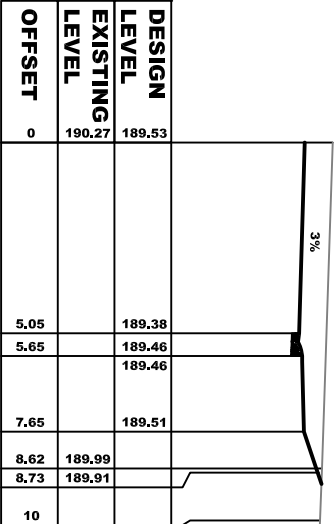
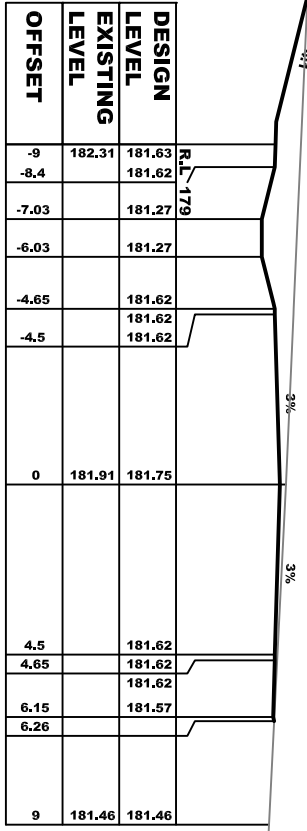
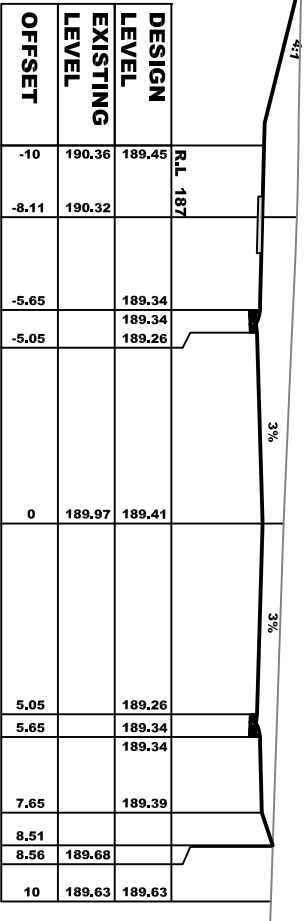
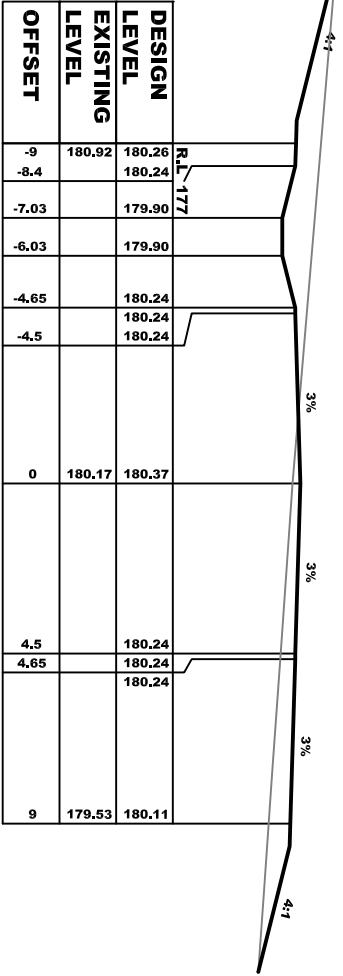
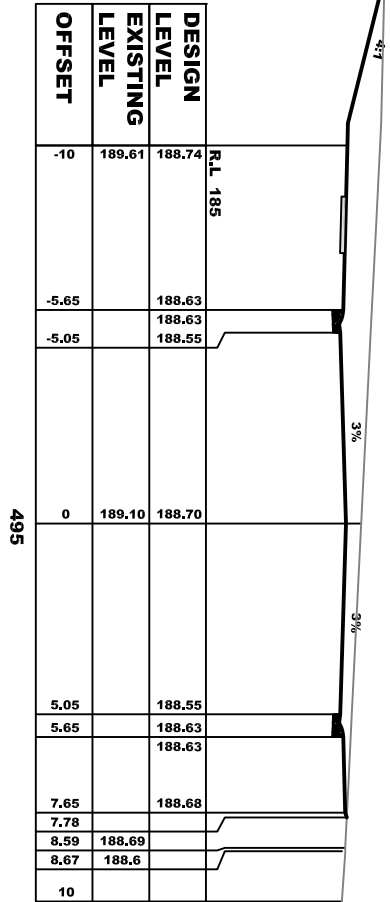
FILE: 224103_ST6-7_CIVIL

SHEET: XS004

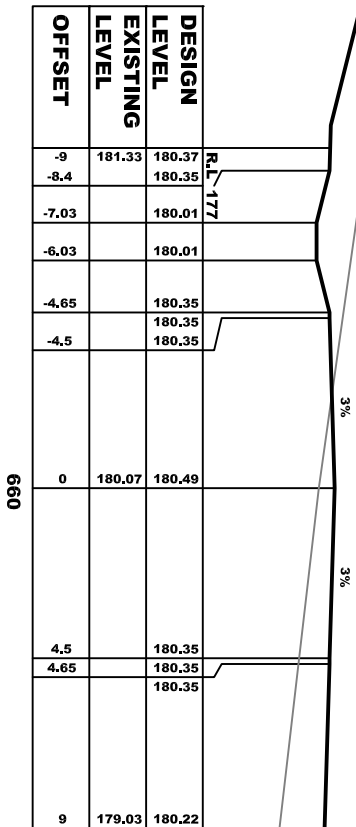
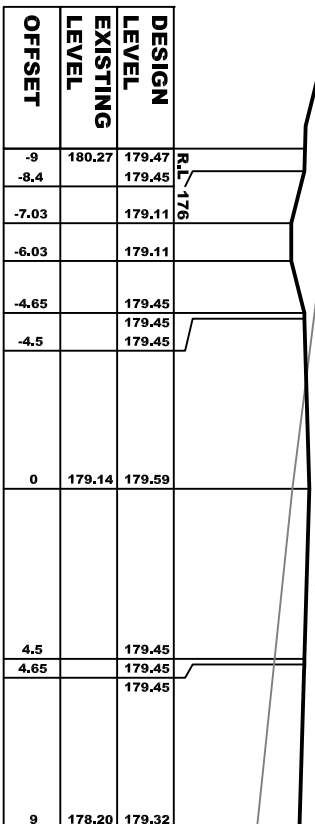
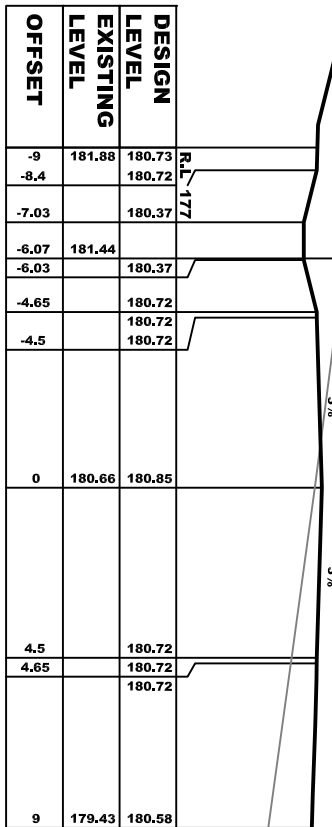
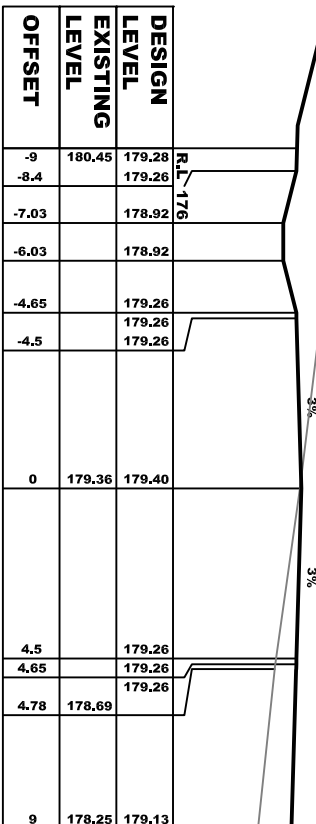
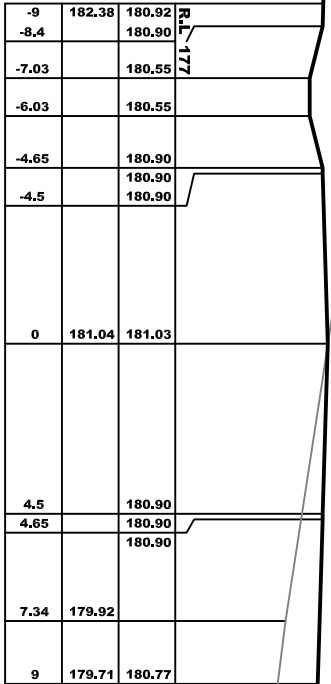
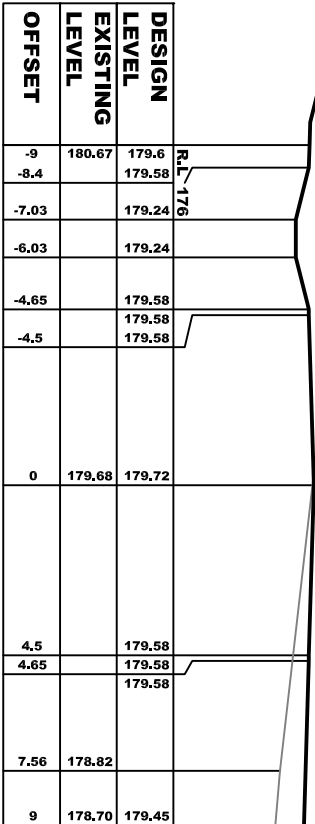
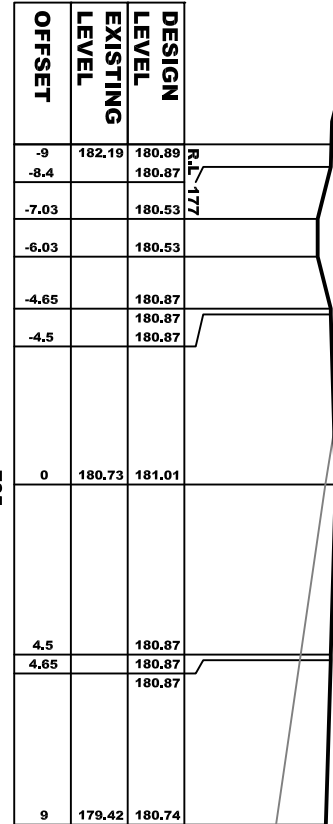
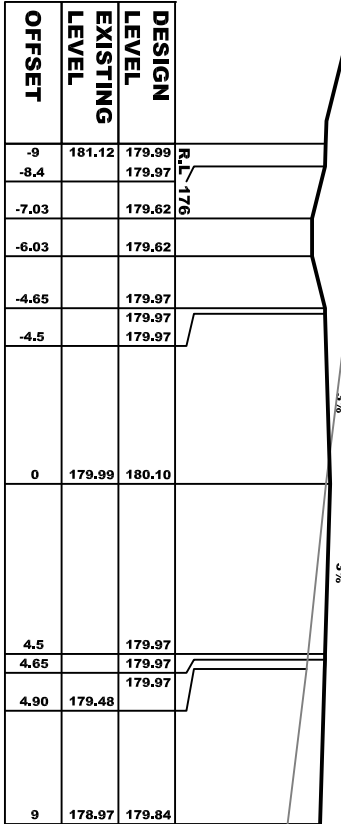
15.11.2024

REV: A

JOB REF: 224103



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PLAN ISSUE

15.11.2024

ROAD 3
CROSS SECTIONS
NORTHVIEW ESTATE - STAGE 6 & 7
LOT 1 IN DP1203294, 9036 NEW ENGLAND HWY, MUSWELLBROOK

DESIGN:
MC / UK / RJ

DRAWN:
MC / UK / RJ

SCALE: H - 1:100 V - 1:100
ORIGINAL DRAWING SIZE: A1
LGA: MUSWELLBROOK
FILE: 224103_ST6-7_CIVIL
SHEET: XS006

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132 Kelly Street (PO Box 432), SCONE NSW 2337

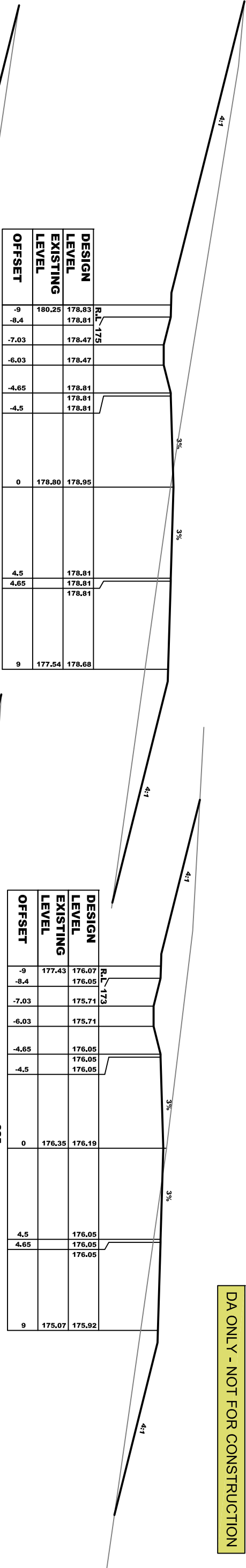


A FOR DEVELOPMENT APPROVAL

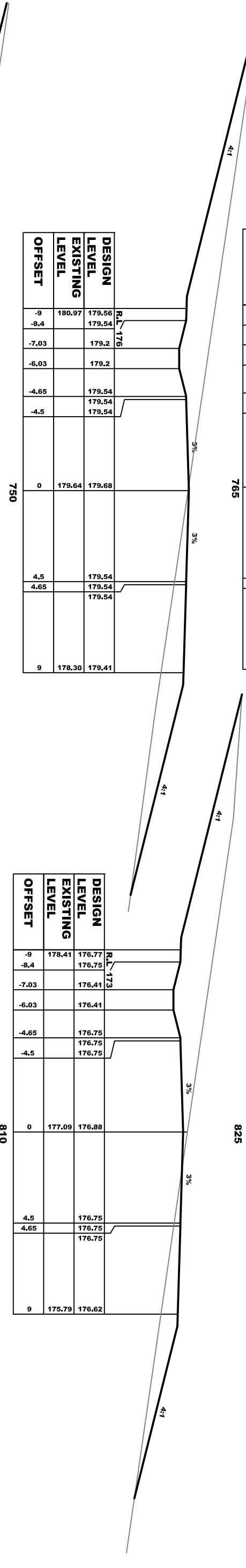
REV: A

JOB REF:
224103

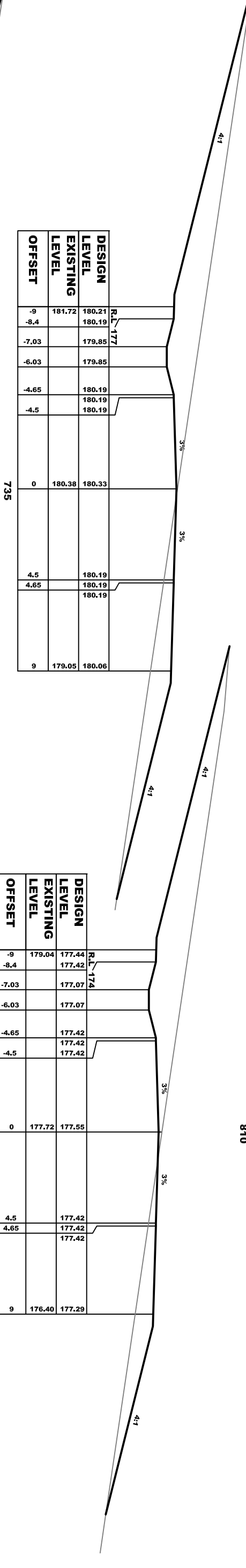
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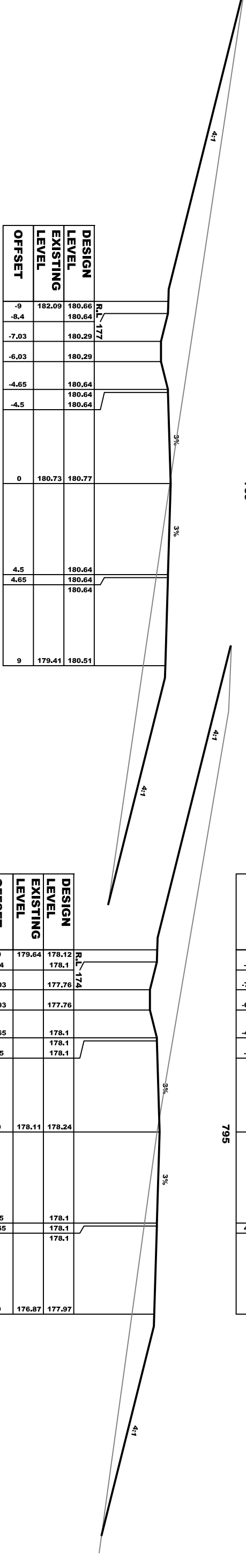
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EXISTING LEVEL	176.05
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	-7.03
	-6.03
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	4.5
	4.65
	9



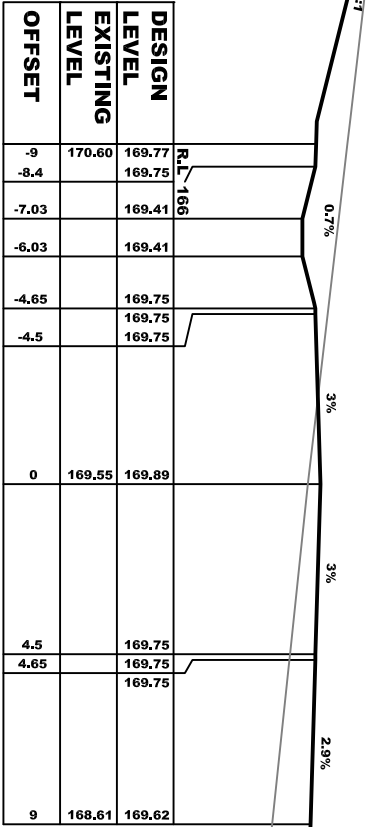
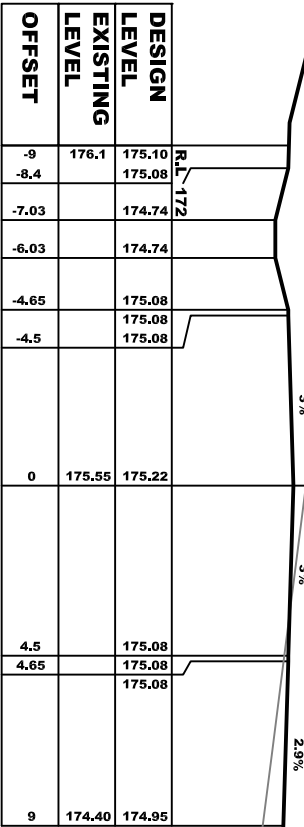
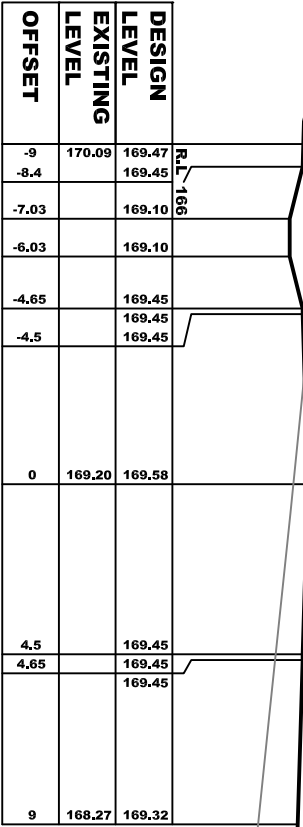
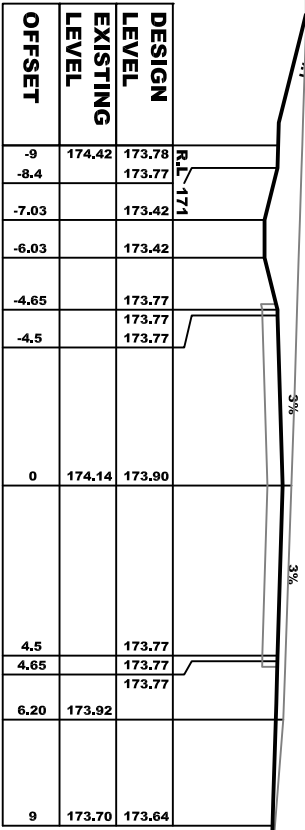
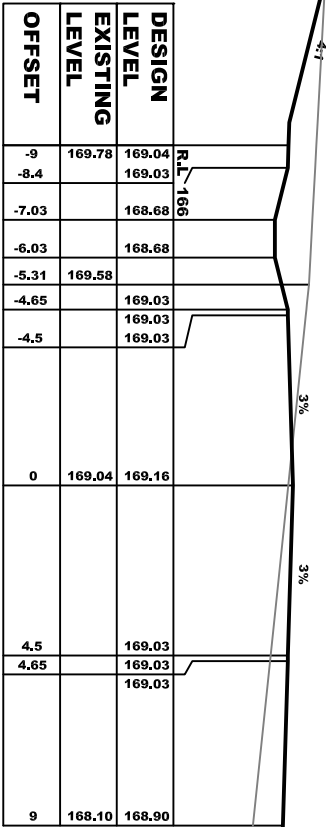
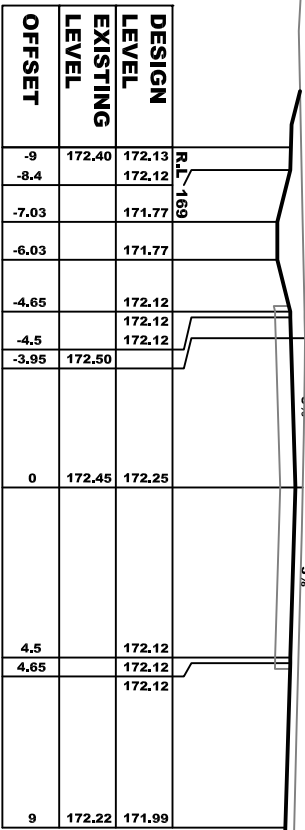
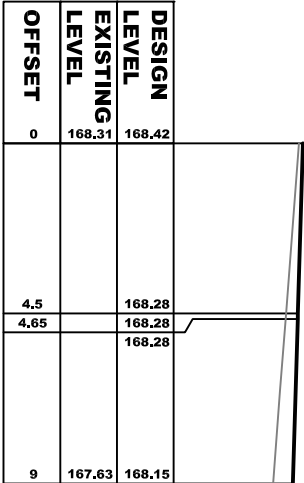
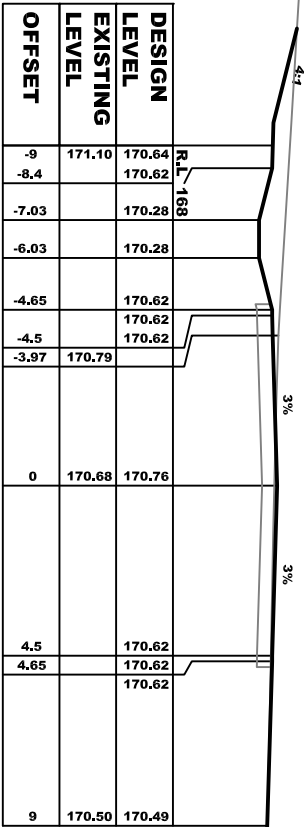
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EXISTING LEVEL	176.75
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	-4.5
	0
	4.5
	4.65
	9



DESIGN LEVEL	177.44
EXISTING LEVEL	177.42
OFFSET	-9
	-8.4
	-7.03
	-6.03
	-4.65
	-4.5
	0
	4.5
	4.65
	9



DESIGN LEVEL	178.12
EXISTING LEVEL	178.1
OFFSET	-9
	-8.4
	-7.03
	-6.03
	-4.65
	-4.5
	0
	4.5
	4.65
	9



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ROAD 3

SCALE: H - 1:100 V - 1:100

PLAN ISSUE

15.11.2024

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CROSS SECTIONS

NORTHVIEW ESTATE - STAGE 6 & 7

LOT 1 IN DP1203294, 9036 NEW ENGLAND HWY, MUSWELLBROOK

ORIGINAL DRAWING SIZE: A1

FOR DEVELOPMENT APPROVAL

LGA: MUSWELLBROOK

REV: A

DESIGN:

MC / UK / RJ

DRAWN:

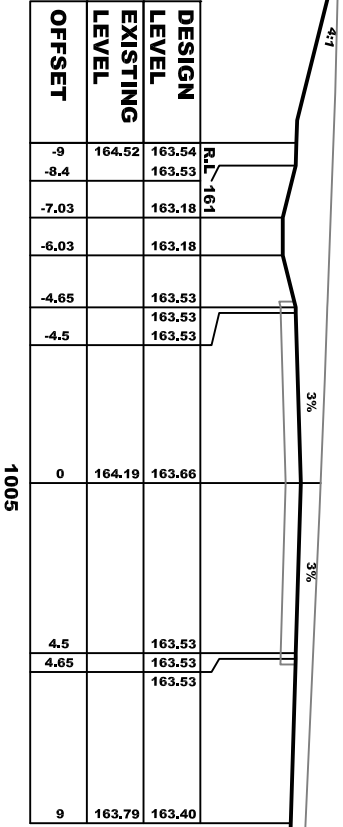
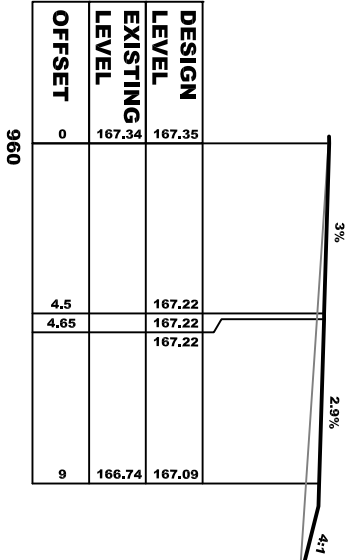
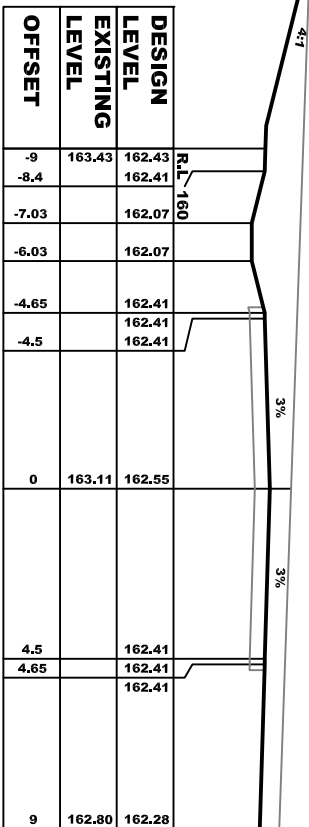
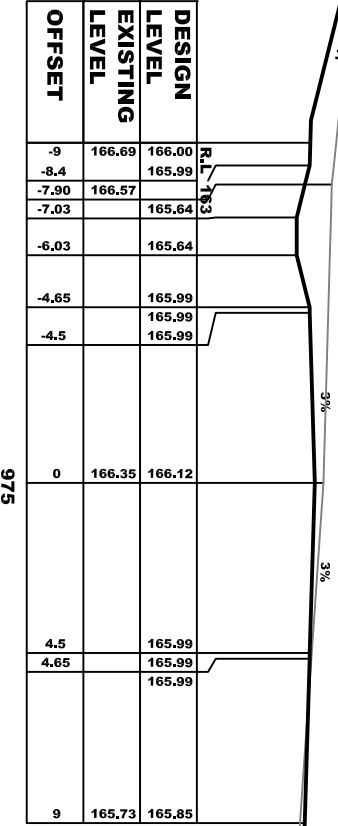
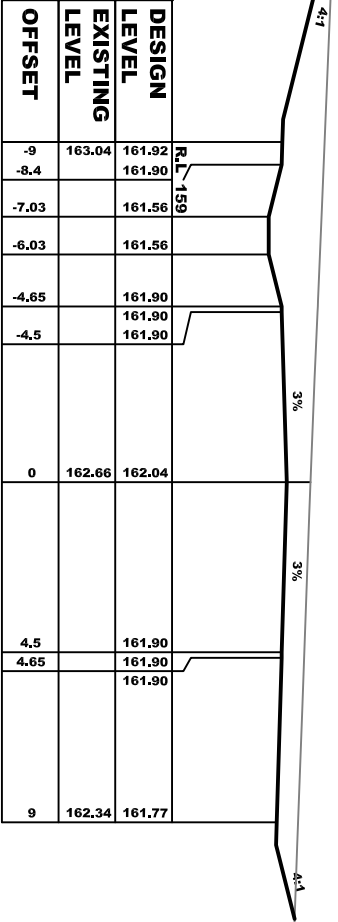
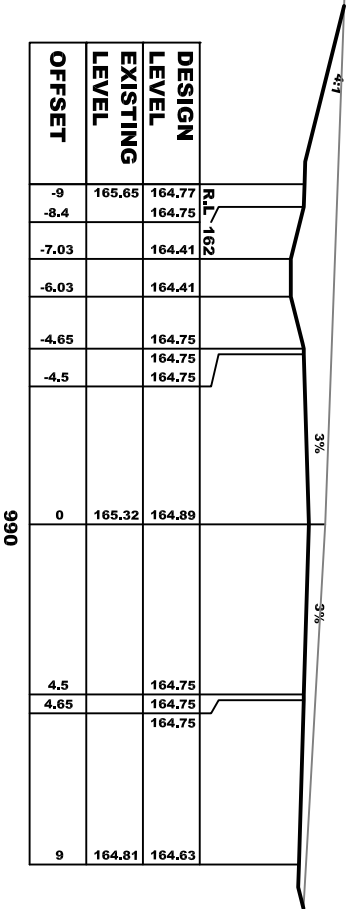
MC / UK / RJ

FILE: 224103_ST6-7_CIVIL

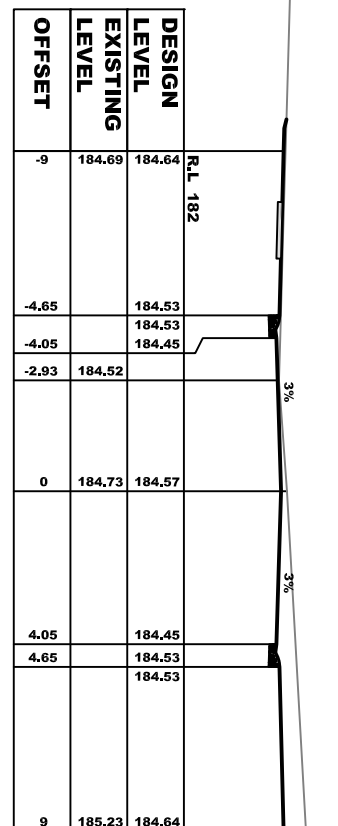
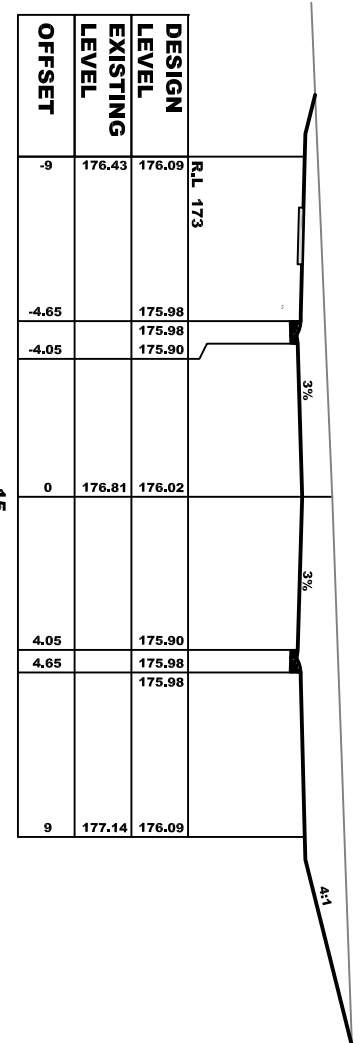
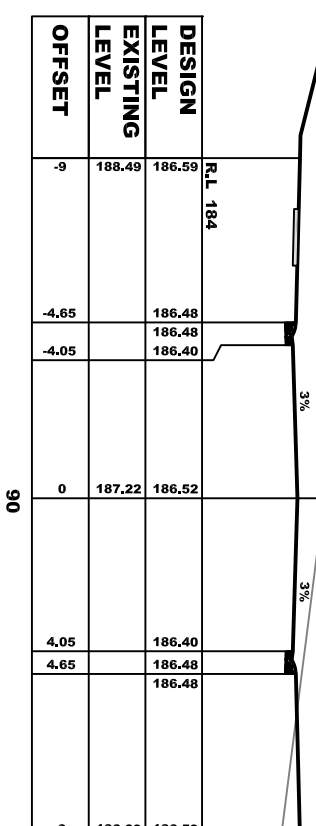
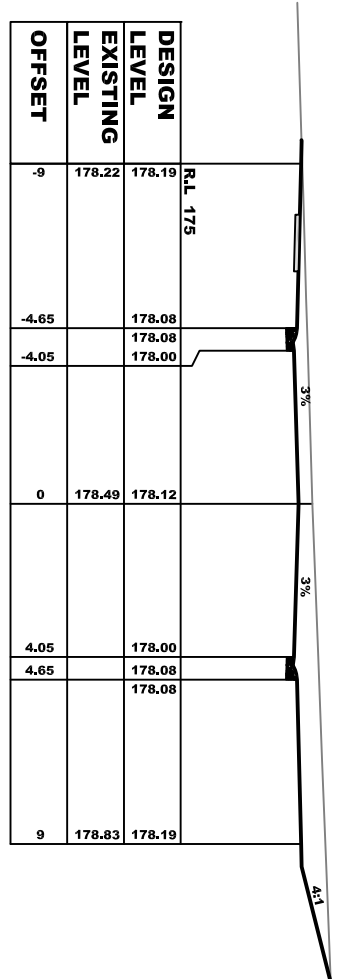
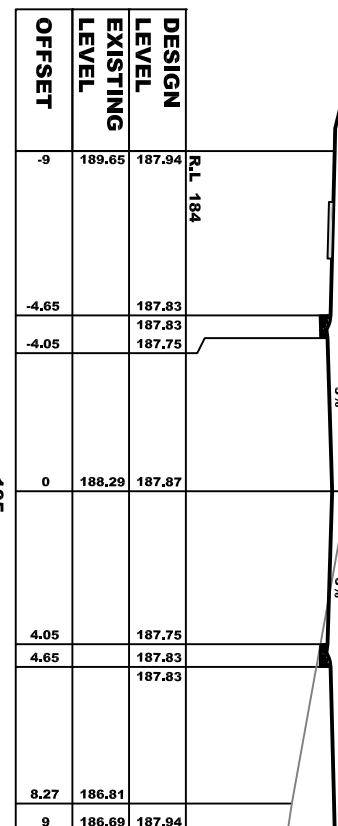
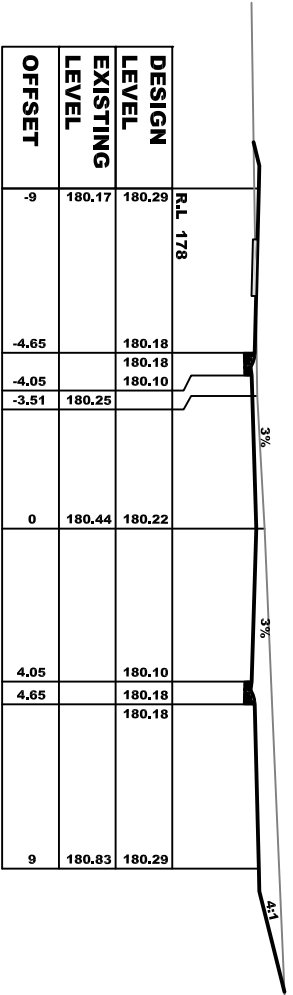
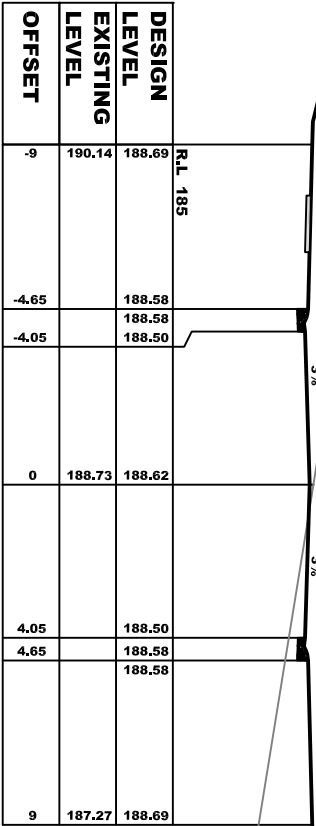
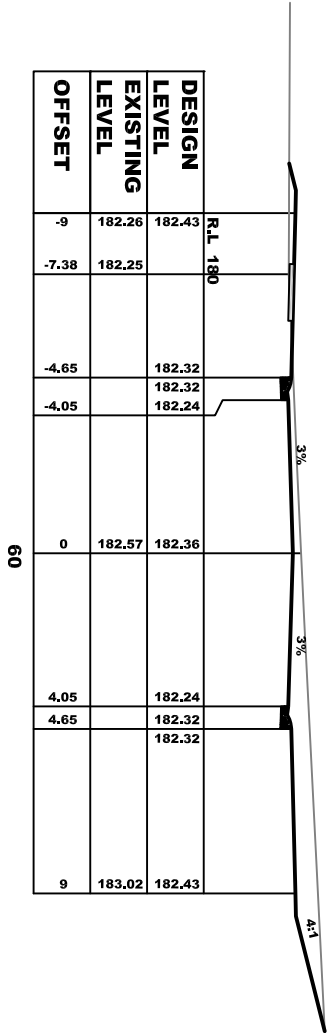
SHEET: XS008

JOB REF:

224103



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Surveying the Hunter since 1920

15.11.2024

REV: A

ROAD 3
ROAD 1 CROSS SECTIONS
NORTHVIEW ESTATE - STAGE 6 & 7

SCALE: H - 1:100 V - 1:100
ORIGINAL DRAWING SIZE: A1

PLAN ISSUE

FOR DEVELOPMENT APPROVAL

DESIGN:
MC / UK / RJ

DRAWN:
MC / UK / RJ

FILE: 224103_STG-7_CIVIL
SHEET: XS010

JOB REF:
224103

HB

TINDALE

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DESIGN LEVEL	R.L. 184		180	3%	3%	4:1
	188.48	188.37				
	189.47	188.29				
	188.41	188.37				
EXISTING LEVEL			188.12		187.78	
OFFSET	-9	-4.65	-4.05	0	2.24	4.05
					4.65	9

DESIGN LEVEL	R.L. 186		240	3%	3%	4:1
	189.21	189.1				
	189.41	189.02				
	189.14	189.1				
EXISTING LEVEL			190.05			
OFFSET	-6	-4.65	-4.05	0	4.05	4.65
						9

DESIGN LEVEL	R.L. 184		165	3%	3%	4:1
	188.54	188.43				
	189.46	188.35				
	188.47	188.43				
EXISTING LEVEL			187.95			
OFFSET	-6	-4.65	-4.05	0	4.05	4.65
						9

DESIGN LEVEL	R.L. 186		225	3%	3%	4:1
	189.00	188.90				
	190.14	188.81				
	188.94	188.81				
EXISTING LEVEL			189.55			
OFFSET	-9	-4.65	-4.05	0	4.05	4.65
						9

DESIGN LEVEL	R.L. 184		150	3%	3%	4:1
	188.69	188.58				
	189.81	188.50				
	188.62	188.58				
EXISTING LEVEL			188.22			
OFFSET	-9	-4.65	-4.05	0	4.05	4.65
						9

DESIGN LEVEL	R.L. 186		210	3%	3%	4:1
	188.80	188.69				
	189.83	188.61				
	188.73	188.69				
EXISTING LEVEL			189.09			
OFFSET	-9	-4.65	-4.05	0	4.05	4.65
						9

DESIGN LEVEL	R.L. 185		135	3%	3%	4:1
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	190.17	188.65				
	188.74	188.77				
EXISTING LEVEL			188.74			
OFFSET	-9	-4.65	-4.05	0	4.05	4.65
						9

DESIGN LEVEL	R.L. 185		195	3%	3%	4:1
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	189.44	188.40				
	188.53	188.48				
EXISTING LEVEL			188.32			
OFFSET	-9	-4.65	-4.05	0	4.05	4.65
						9

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ROAD 3
ROAD 1 CROSS SECTIONS
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN: MC / UK / RJ

DRAWN: MC / UK / RJ

SCALE: H - 1:100 V - 1:100
ORIGINAL DRAWING SIZE: A1

LG&I MUSWELLBROOK

FILE: 224103_ST6-7_CIVIL

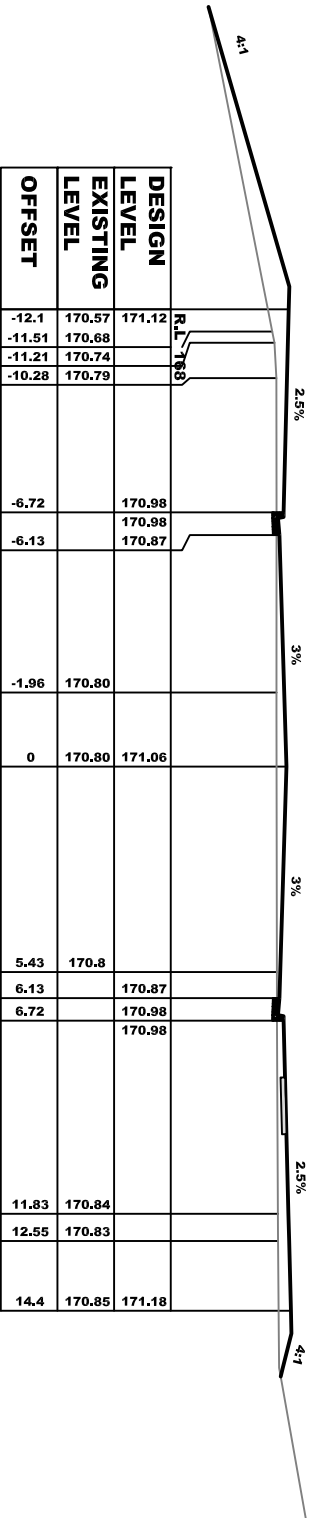
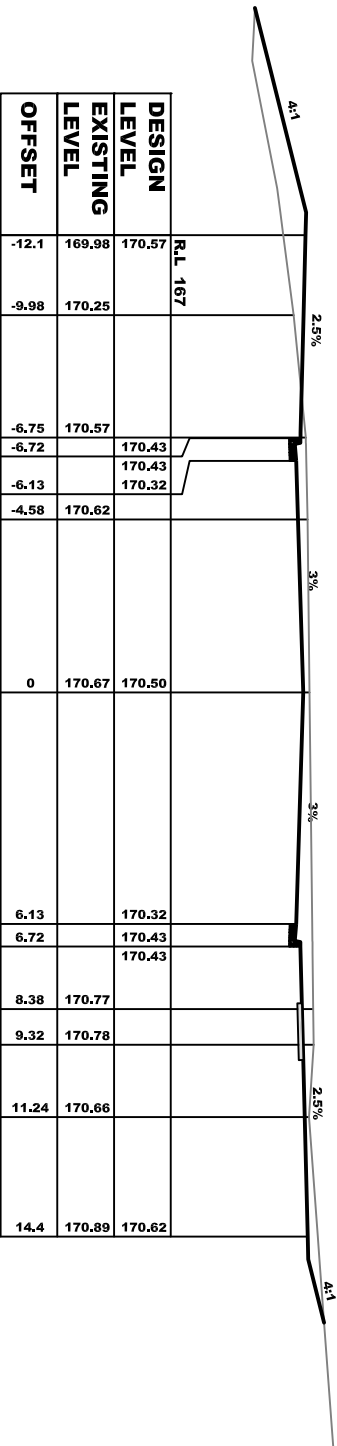
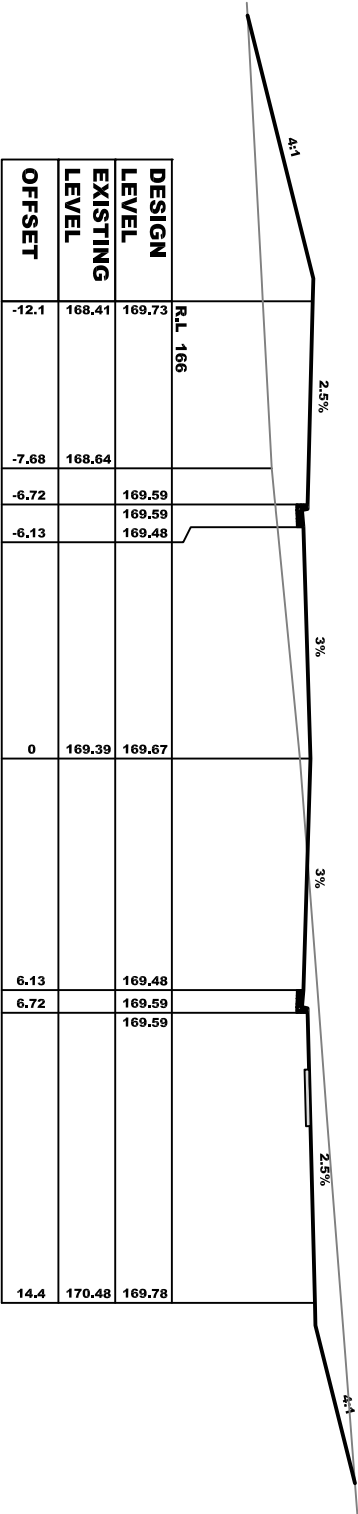
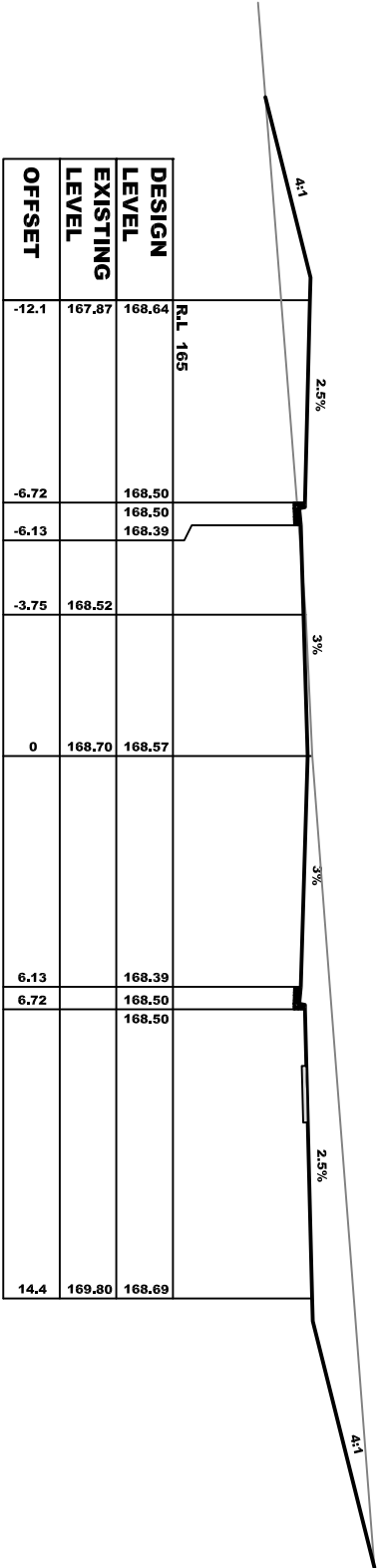
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REV: A

JOB REF: 224103



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Surveying the Hunter since 1920

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ROAD 3
QUEEN STREET - CROSS SECTIONS
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN:
MC / UK / RJ

SCALE: H - 1:100 V - 1:100
ORIGINAL DRAWING SIZE: A1

PLAN ISSUE

15.11.2024

TINDALE

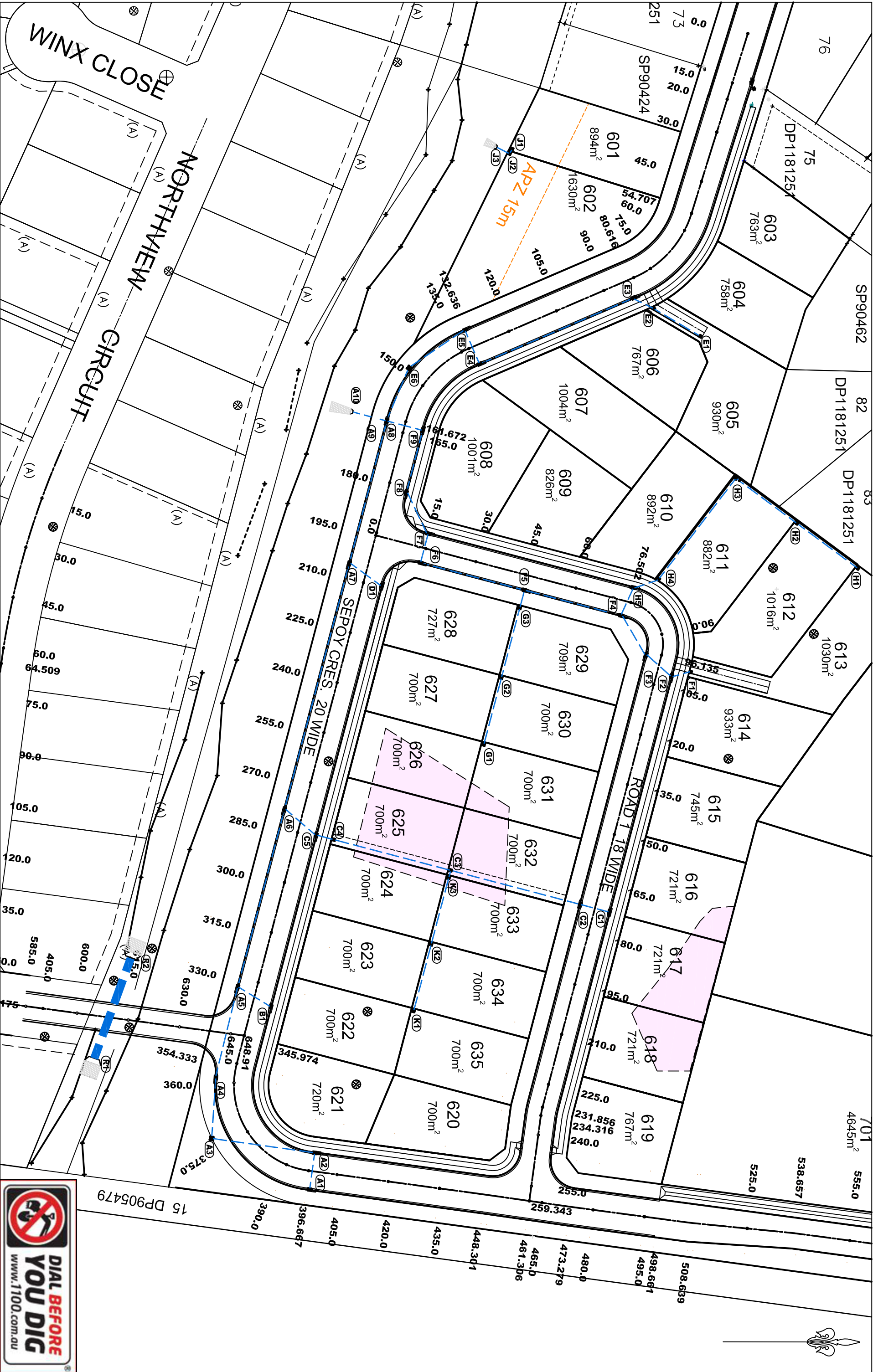
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FOR DEVELOPMENT APPROVAL

REV: A

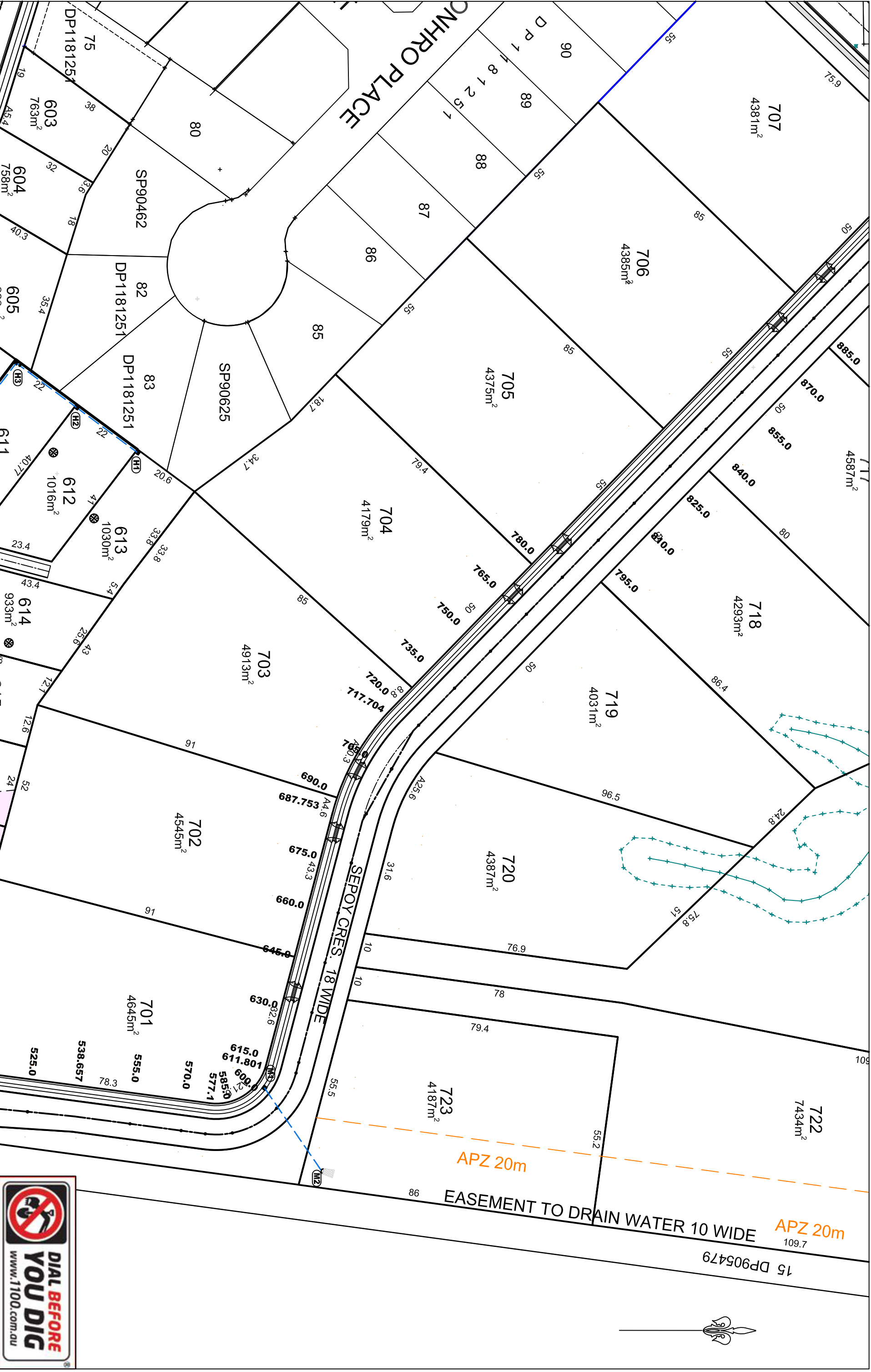
JOB REF:
224103



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STORMWATER DRAINAGE PLAN SHEET 1 NORTHVIEW ESTATE - STAGE 6 & 7			DESIGN: UK/MC	DRAWN: UK/MC	
H:SCALE: 1:1000 ORIGINAL DRAWING SIZE: A1			LGA: MUSWELLBROOK		
CONT. INT: 0.5m			FILE: 224103_ST6-7_DRAINAGE		
MGA94			SHEET: SWD-GA001		
PLAN ISSUE			FOR DEVELOPMENT APPROVAL		
15.11.2024			REV: A		
			JOB REF: 224103		



Pric 02 65432475 Fax: 02 65434400 Email: office@hbsurvey.com.au
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TINDALE

STORMWATER DRAINAGE PLAN
SHEET 2
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN: UK/MC

DRAWN: UK/MC

H.SCALE: 1:500 CONT. INT: 0.5m

ORIGINAL DRAWING SIZE: A1

MGA94

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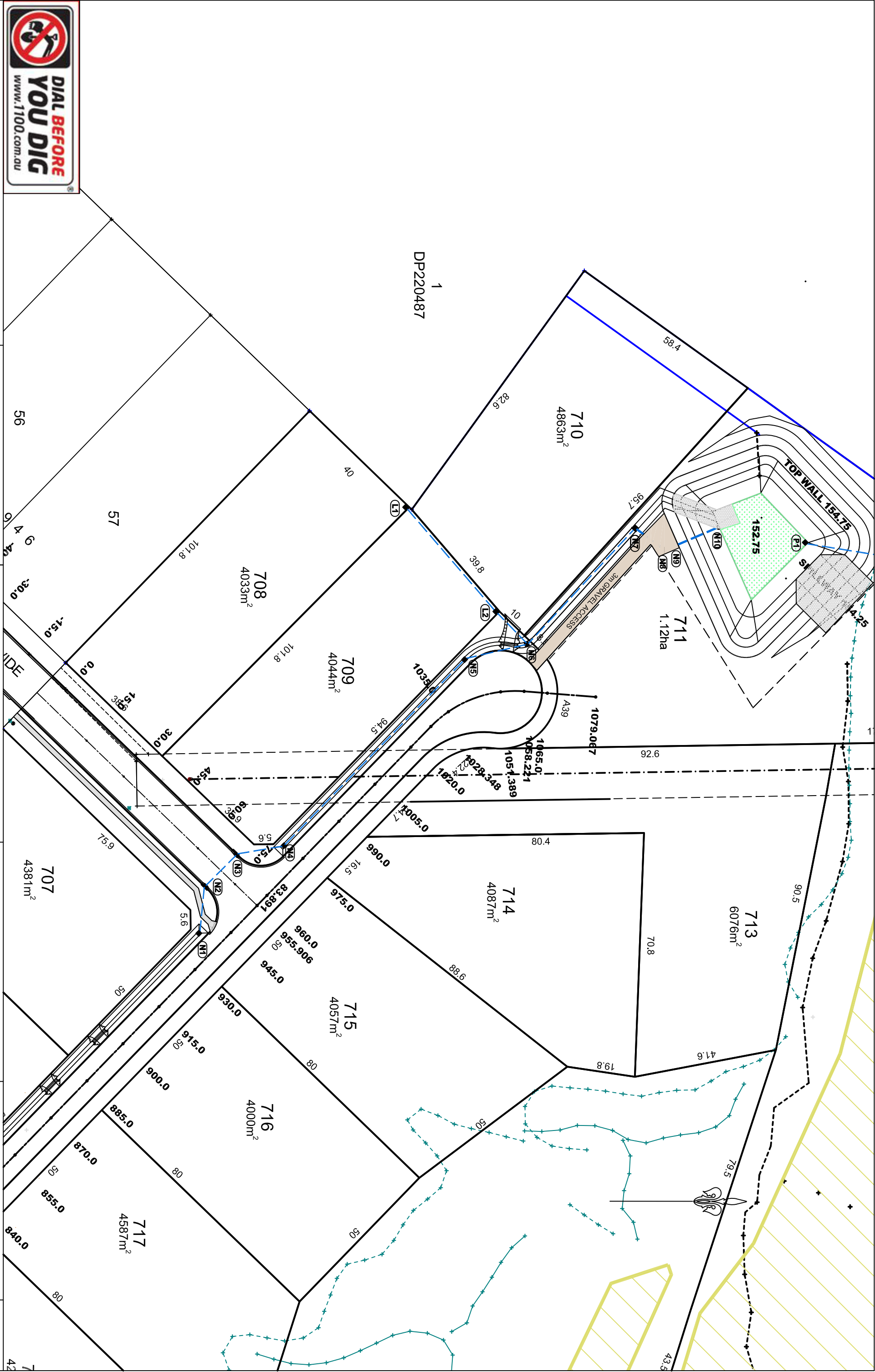
STORMWATER DRAINAGE PLAN
SHEET 3
NORTHVIEW ESTATE - STAGE 6 & 7

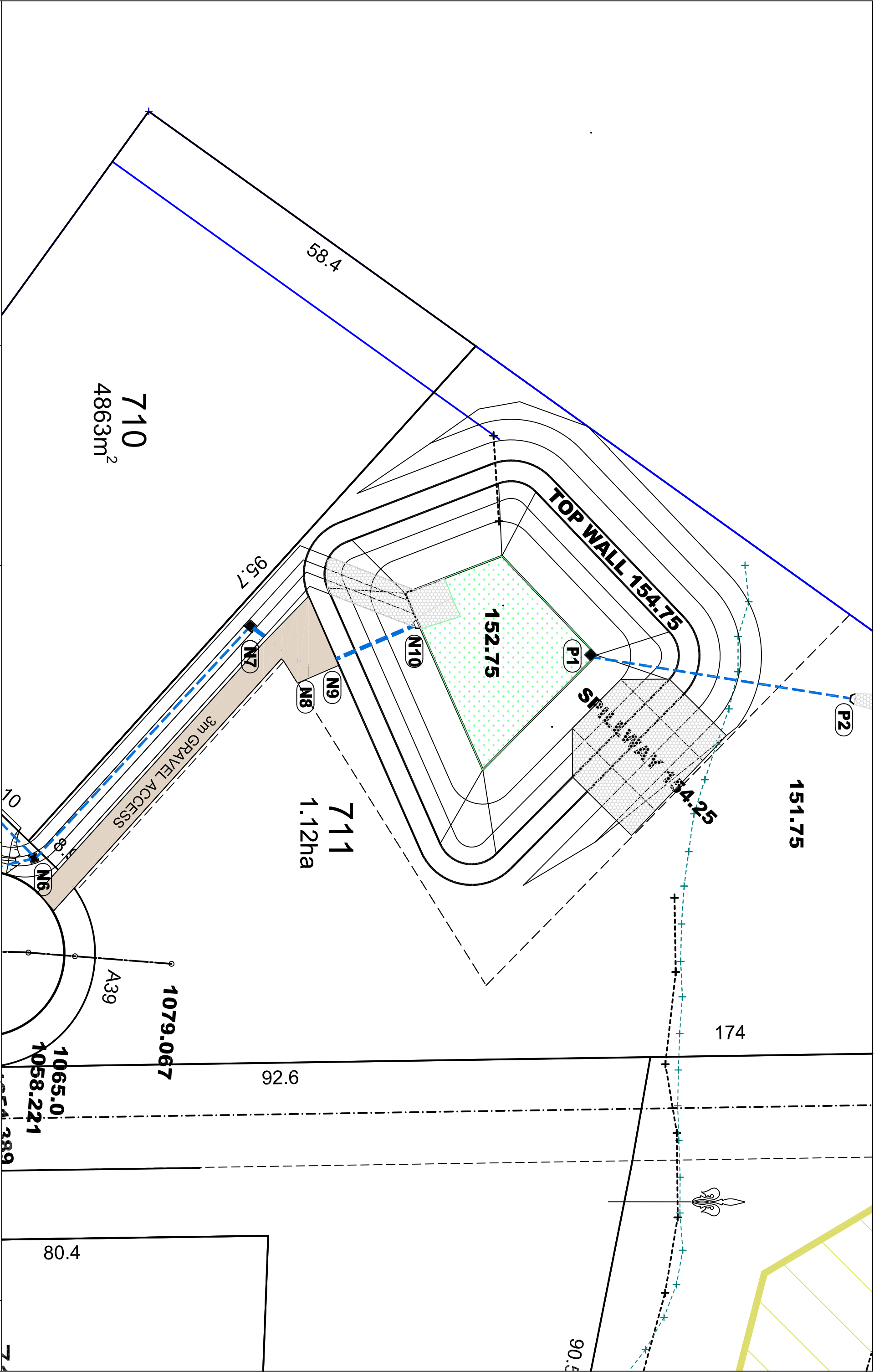
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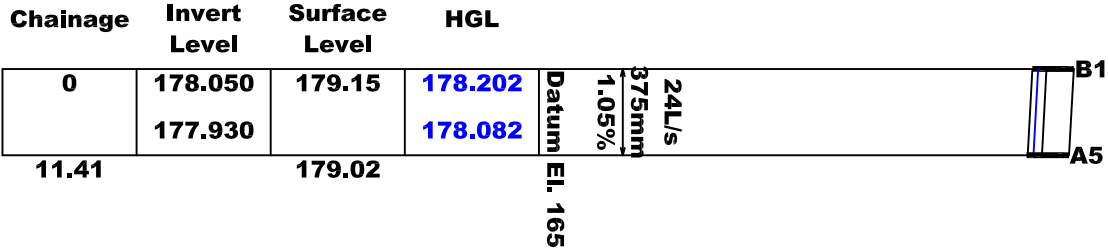
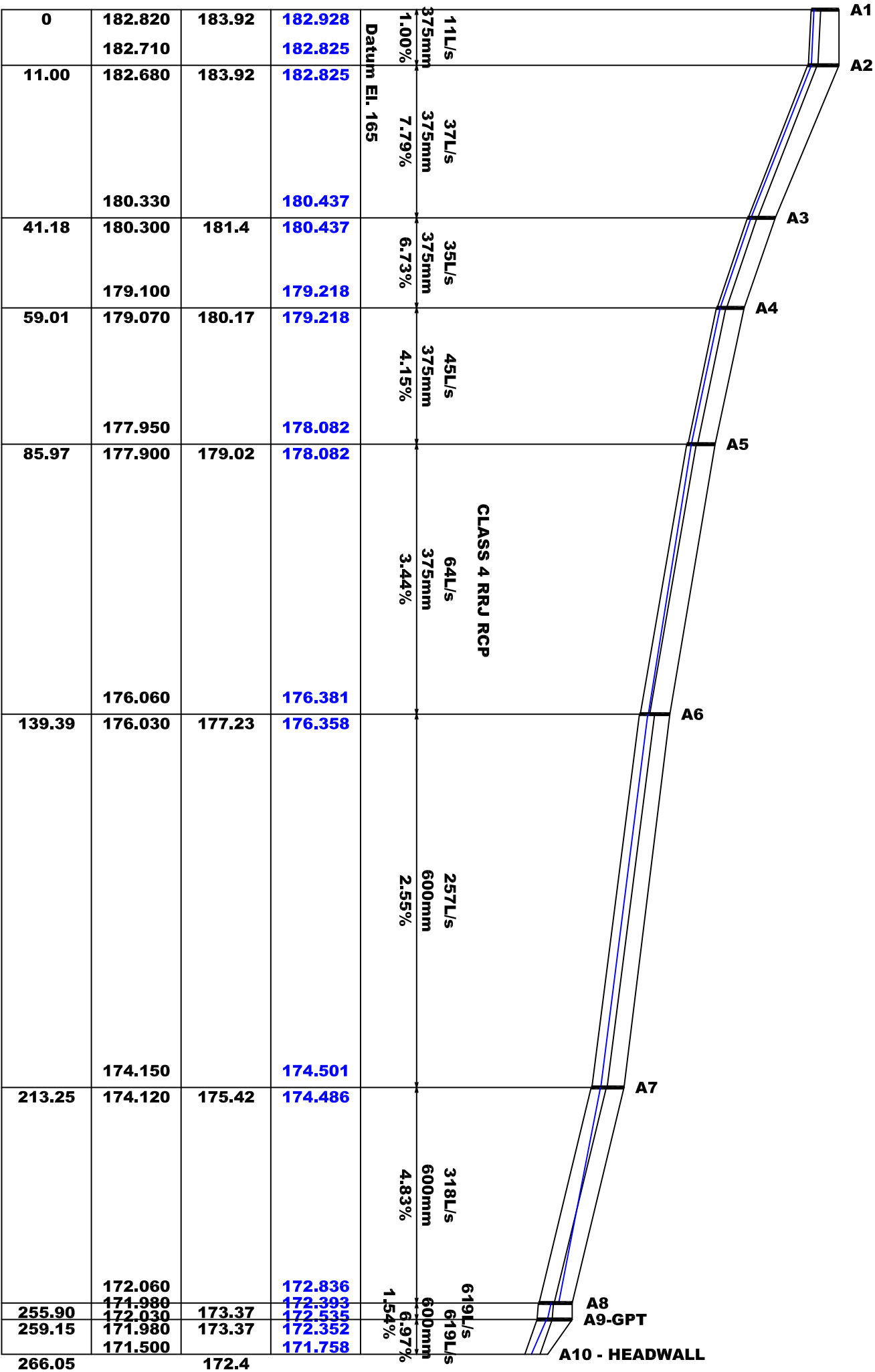
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FILE: 224103_ST6-7_DRAINAGE
SHEET: SWD-GA003

CONT. INT: 0.5m
MGA94
A
FOR DEVELOPMENT APPROVAL

15.11.2024
REV: A
JOB REF: 224103







DRAINAGE LINE A - 20% AEP

DRAINAGE LINE B - 20% AEP

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TINDALE

DRAINAGE LONGITUDINAL SECTION
SHEET 1
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN: UK/MC
DRAWN: UK/MC

SCALE: H - NTS V - NTS
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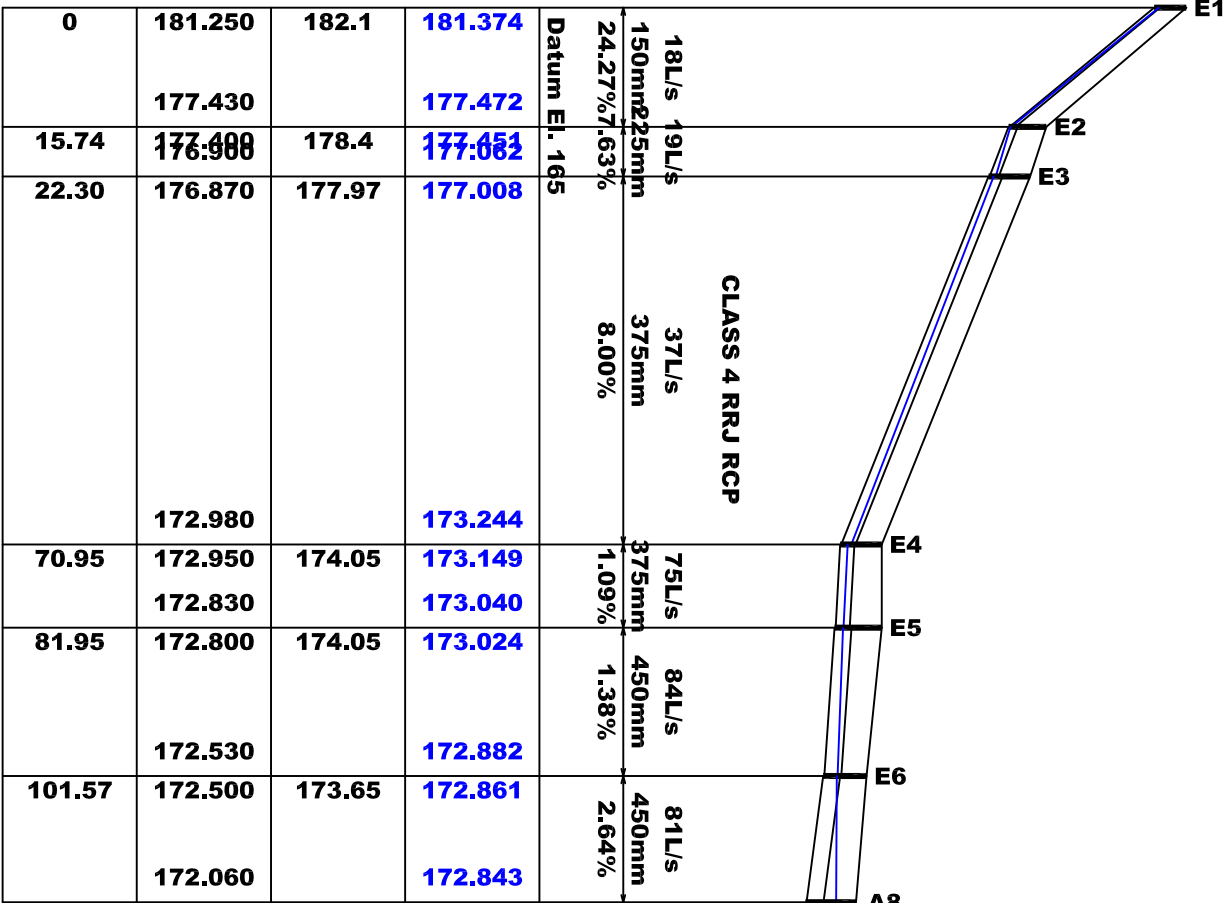
PLAN ISSUE

A FOR DEVELOPMENT APPROVAL

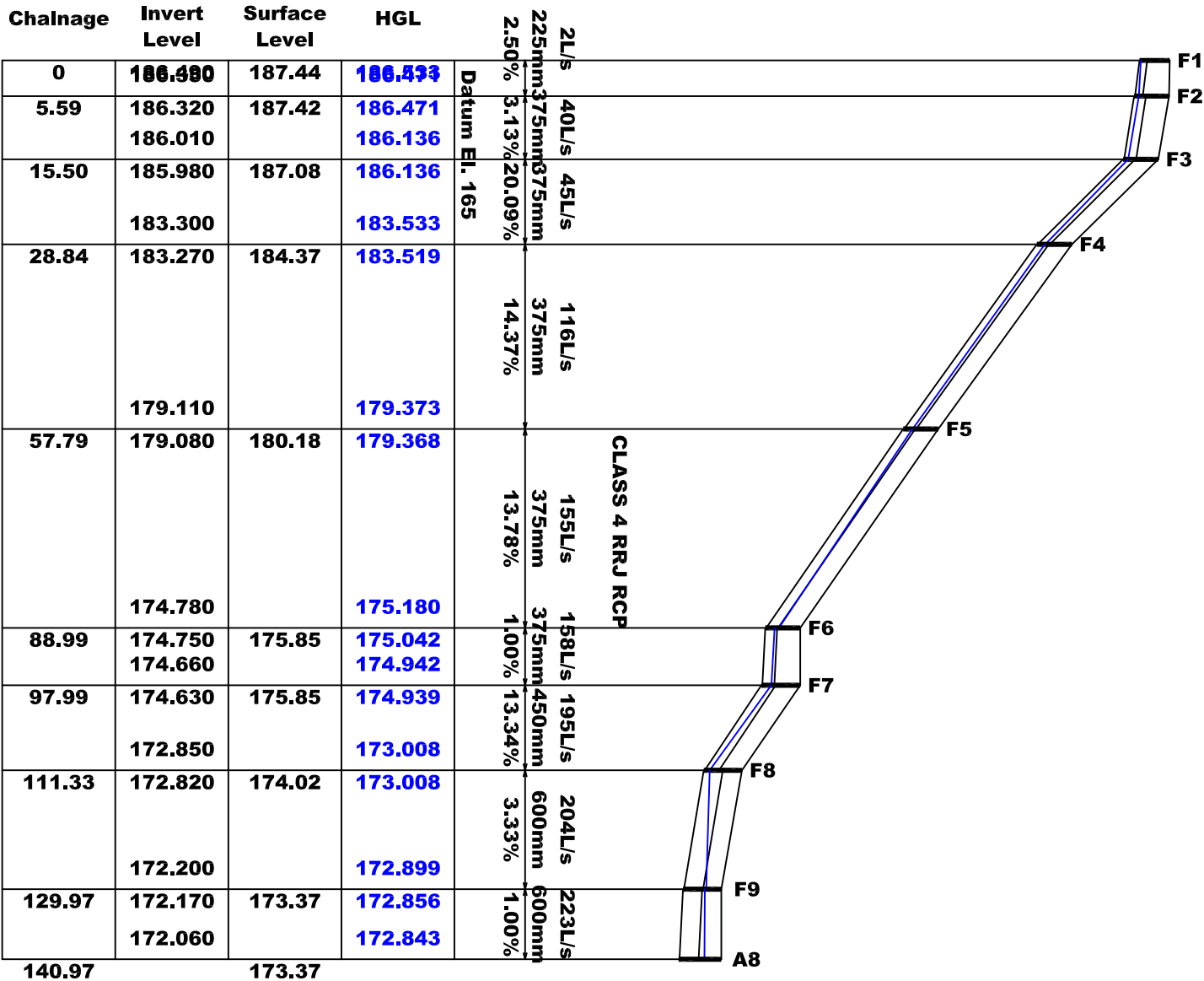
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DRAINAGE LINE E - 20%



DRAINAGE LINE F - 20%

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DRAINAGE LONGITUDINAL SECTION
SHEET 3
NORTHVIEW ESTATE - STAGE 6 & 7

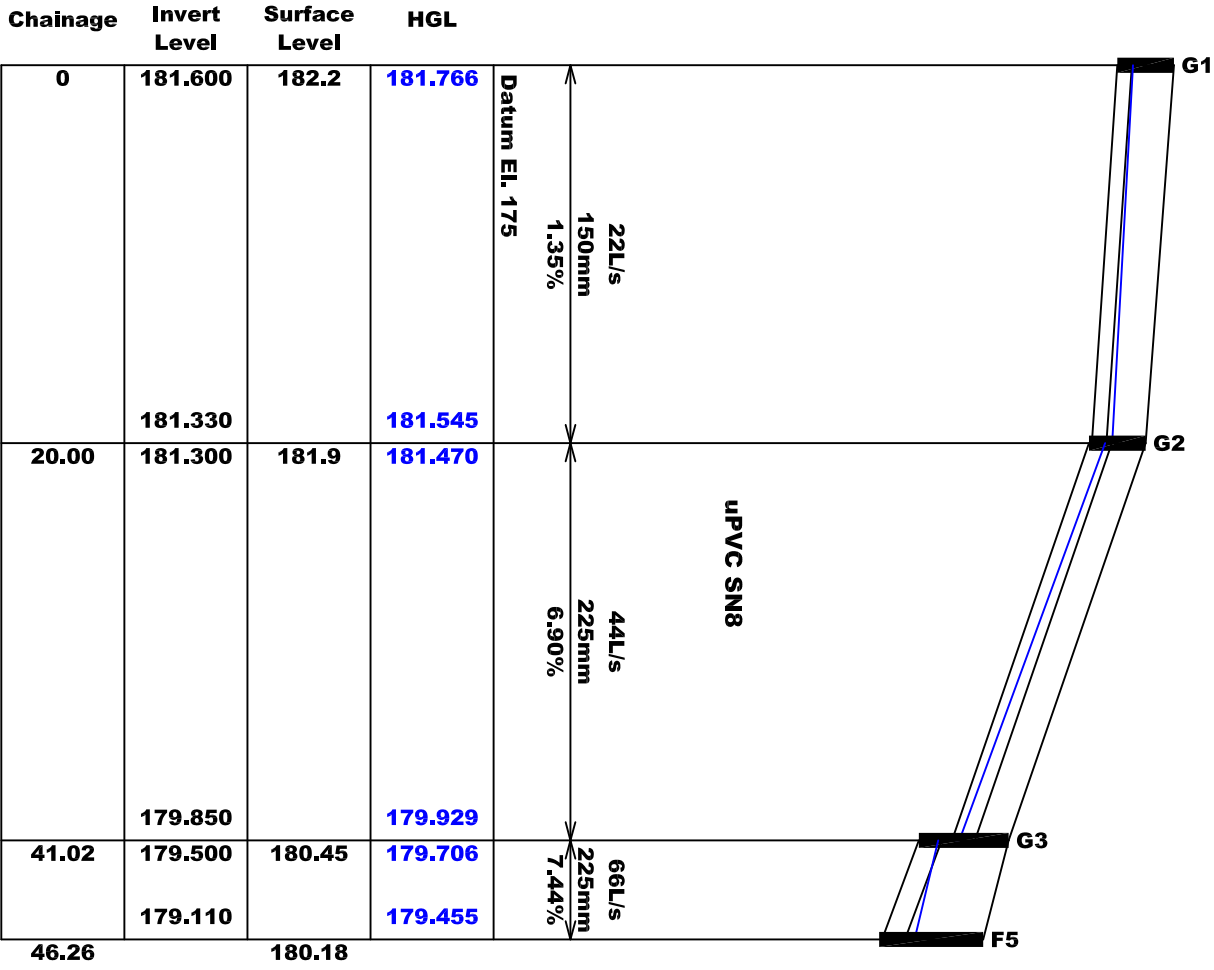
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R. JONES

DRAWN: MKOOLE
R. JONES

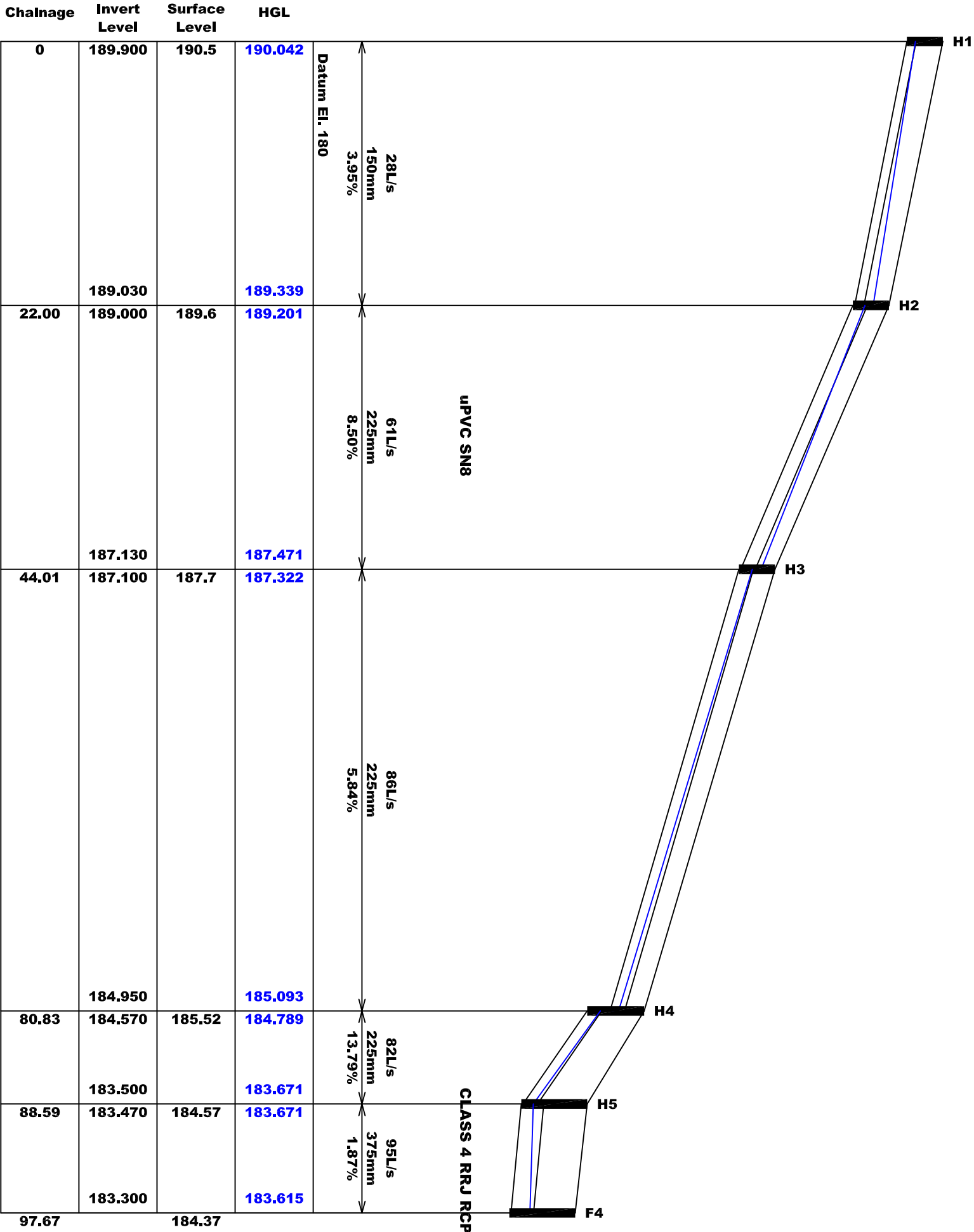
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SHEET: SWD-LS003

PLAN ISSUE
FOR DEVELOPMENT APPROVAL

15.11.2024
REV: A
JOB REF: 224103



DRAINAGE LINE G - 5% AEP



DRAINAGE LINE H - 5% AEP

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HB

TINDALE

DRAINAGE LONGITUDINAL SECTION

SHEET 4

NORTHVIEW ESTATE - STAGE 6 & 7

SCALE: H - NTS V - NTS

ORIGINAL DRAWING SIZE: A1

LGA: MUSWELLBROOK

DESIGN: UK/MC

DRAWN: UK/MC

FILE: 224103_ST6-7_DRAINAGE

SHEET: SWD-LS004

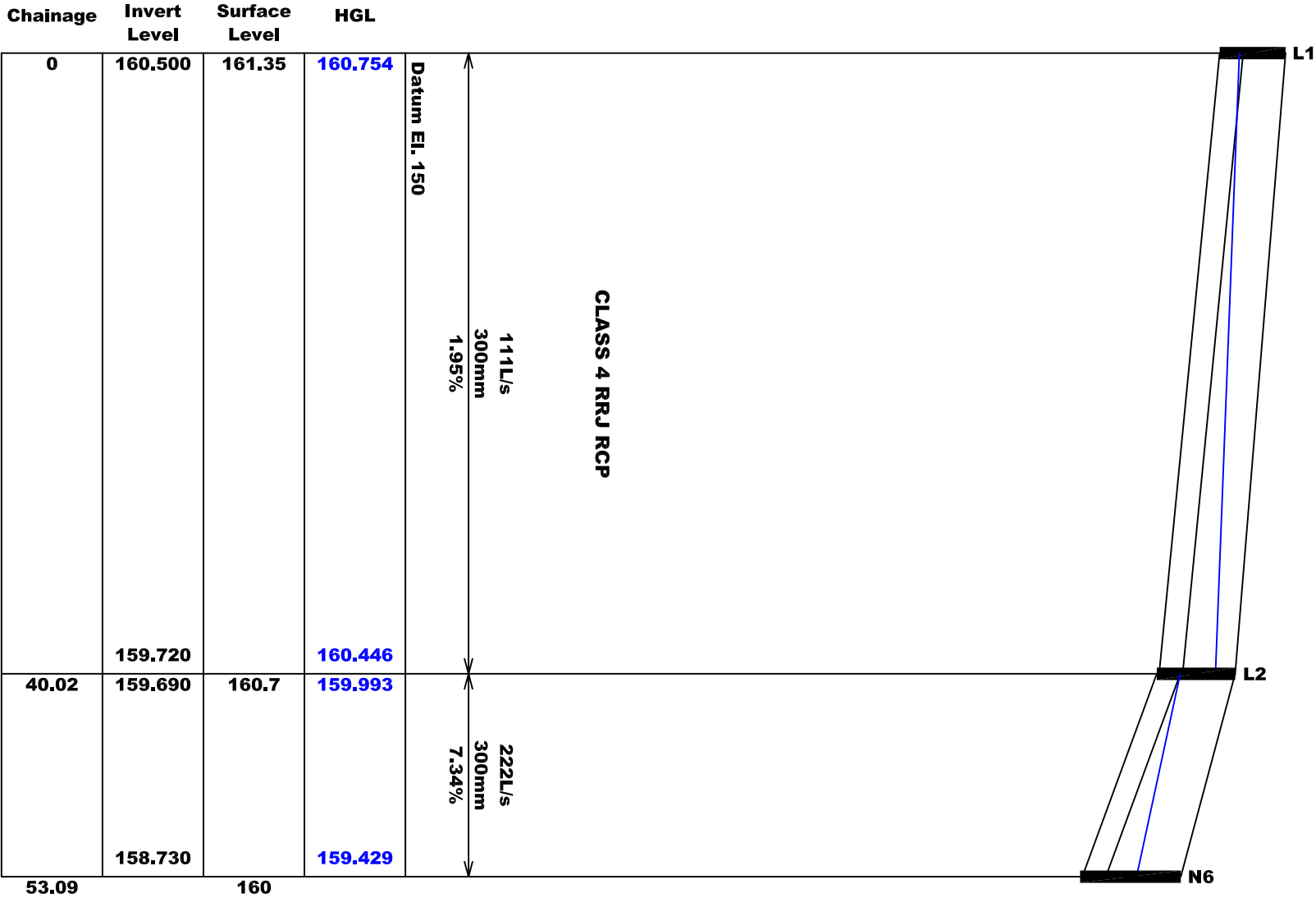
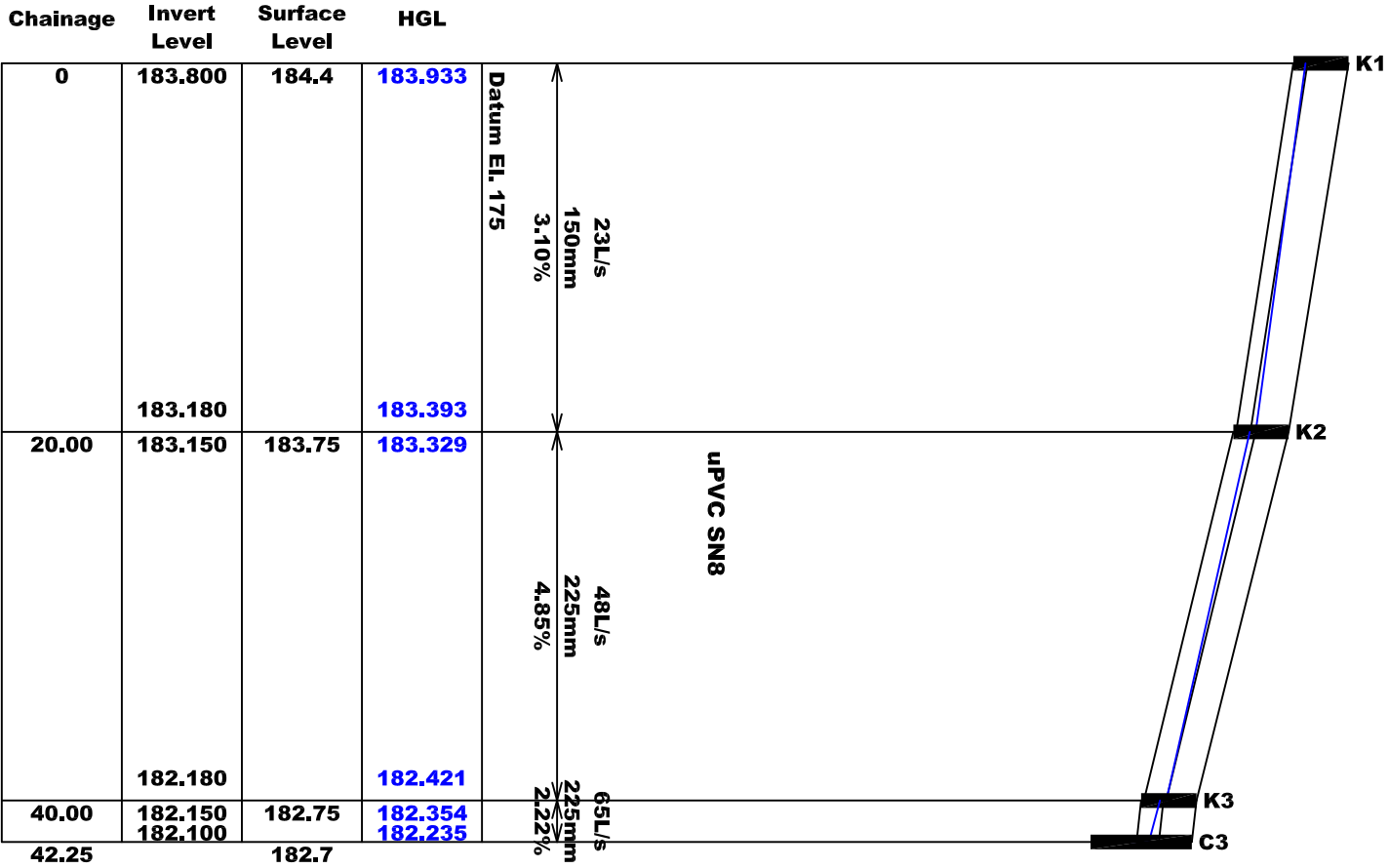
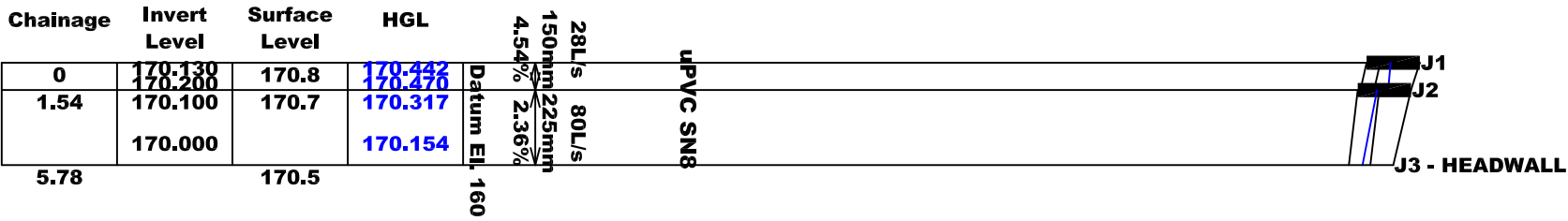
PLAN ISSUE

FOR DEVELOPMENT APPROVAL

15.11.2024

REV: A

JOB REF: 224103

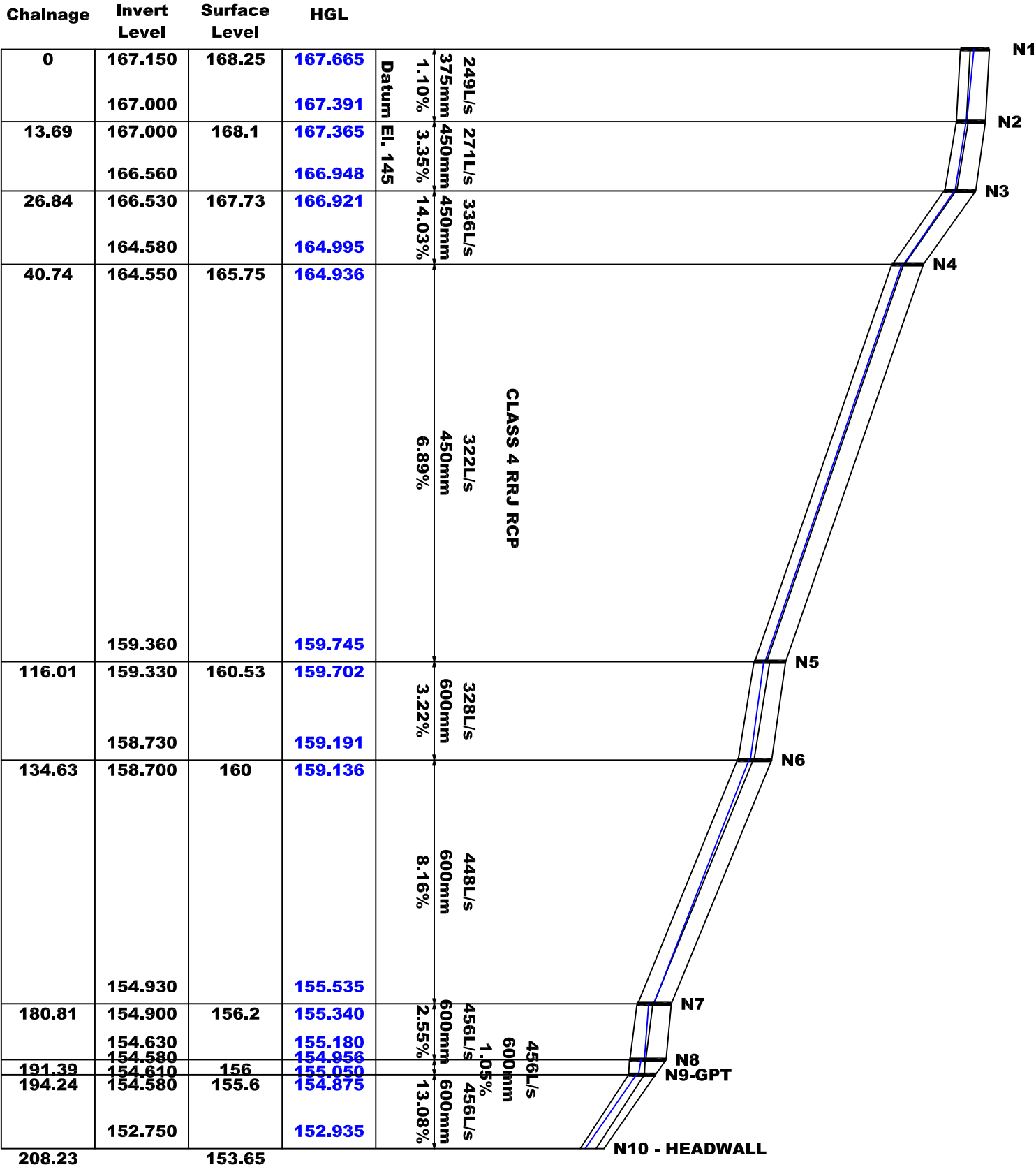
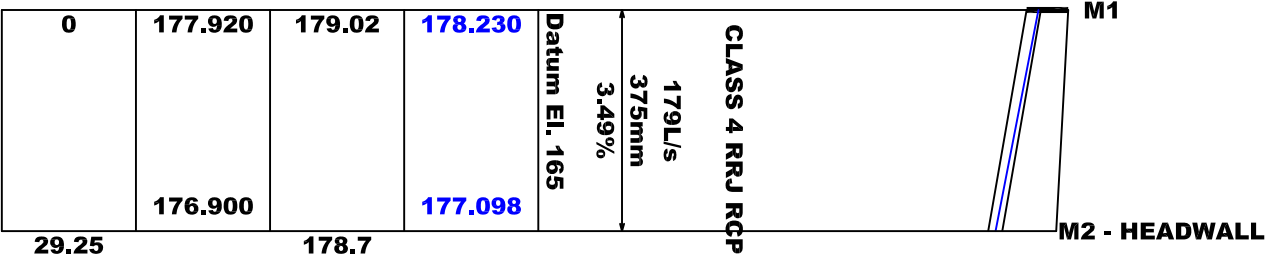


DRAINAGE LINE J - 5% AEP

DRAINAGE LINE K - 5% AEP

DRAINAGE LINE L - 5% AEP

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<div>MM HYNDES BAILEY & CO. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN <i>Surveying the Hunter since 1920</i></div> <div></div>			<div>DRAINAGE LONGITUDINAL SECTION SHEET 5 NORTHVIEW ESTATE - STAGE 6 & 7</div> <div>SCALE: H - NTS V - NTS ORIGINAL DRAWING SIZE: A1</div>		
DESIGN: UK/MC		DRAWN: UK/MC		PLAN ISSUE	
				A FOR DEVELOPMENT APPROVAL	
				REV: A	
				JOB REF: 224103	



DRAINAGE LINE M - 20% AEP

DRAINAGE LINE N - 20% AEP

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Surveying the Hunter since 1920

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DRAINAGE LONGITUDINAL SECTION

SHEET 6
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN:
UK/MC

DRAWN:
UK/MC

SCALE: H - NTS V - NTS
ORIGINAL DRAWING SIZE: A1

LGA: MUSWELLBROOK

FILE: 224103_stg-7_DRAINAGE

SHEET: SWD-LS006

PLAN ISSUE

A FOR DEVELOPMENT APPROVAL

15.11.2024

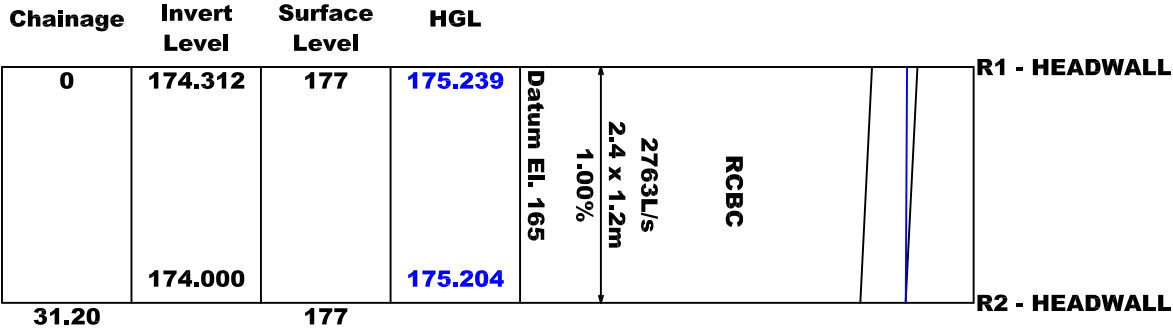
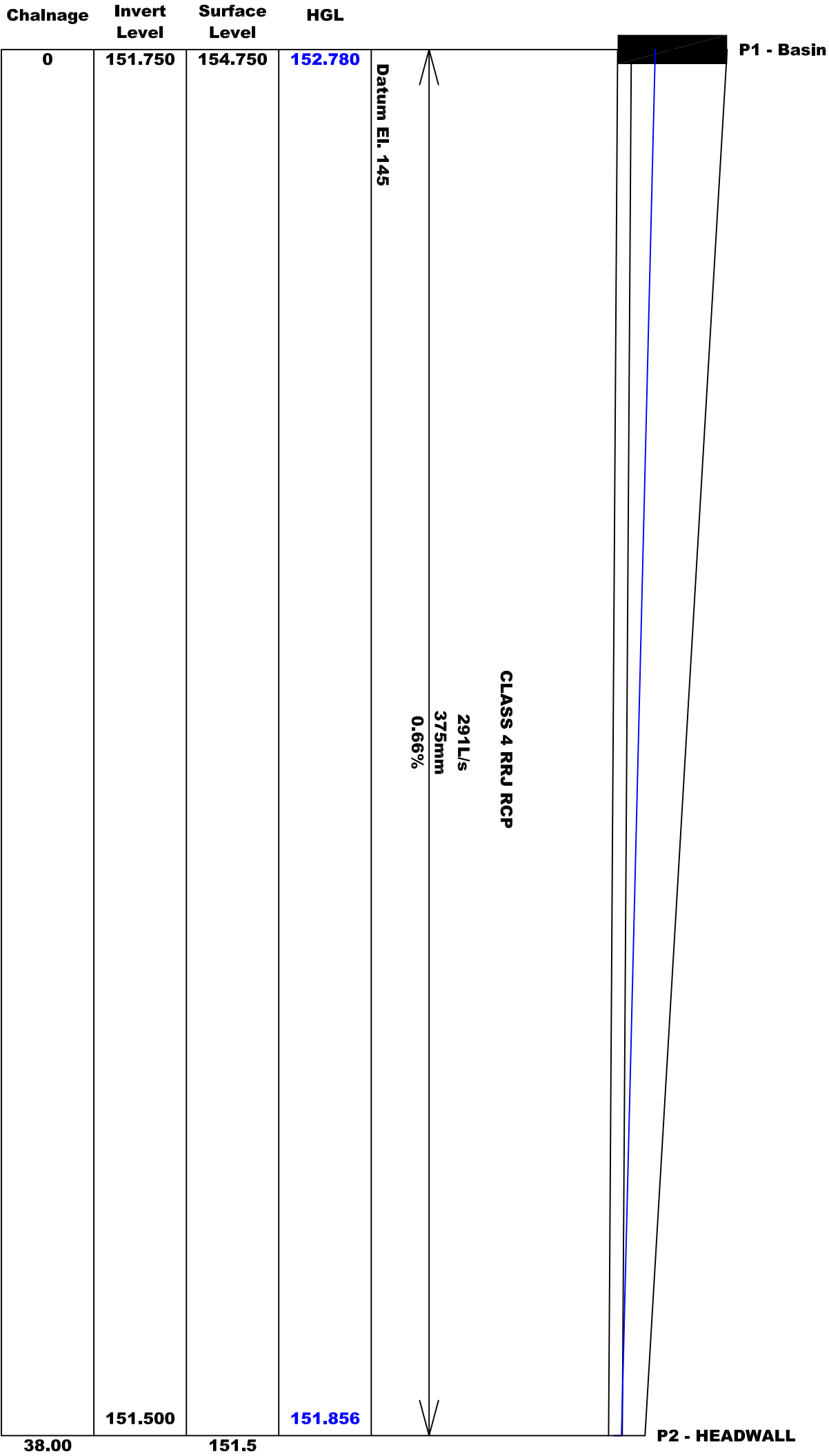
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JOB REF:
224103



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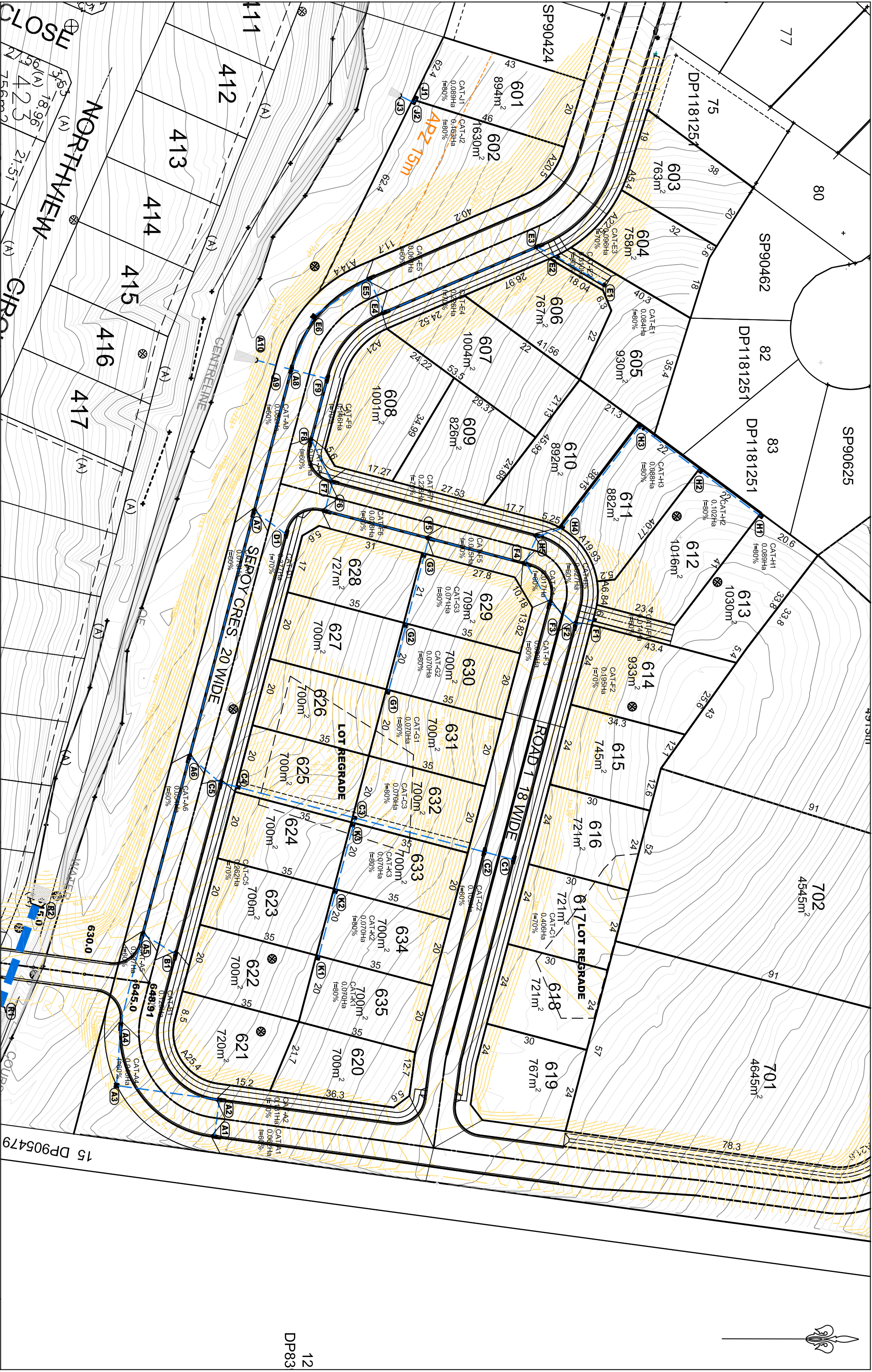
TINDALE

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DRAINAGE LINE P - 1% AEP

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		SHEET: SWD-LS007	
			15.11.2024
			REV: A
			JOB REF: 224103



12
DP83

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CATCHMENT PLAN
SHEET 1
NORTHVIEW ESTATE - STAGE 6 & 7

H.SCALE: 1:1000
CONT. INT: 0.5m

PLAN ISSUE

15.11.2024

MM HYNDES BAILEY & Co.
REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN
Surveying the Hunter since 1920



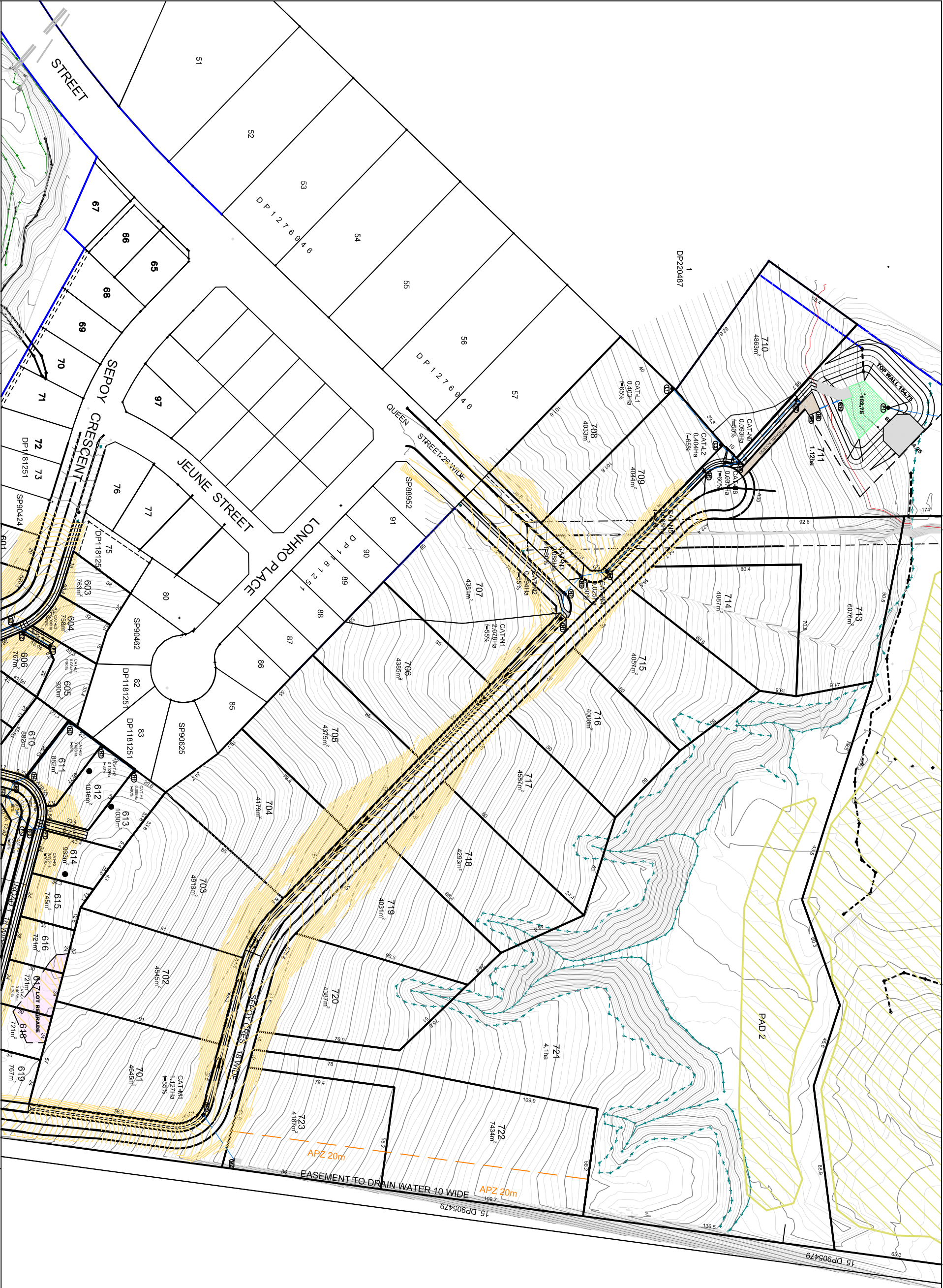
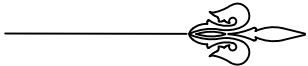
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LG&I MUSWELLBROOK
FILE: 224103 ST6-7_DRAINAGE
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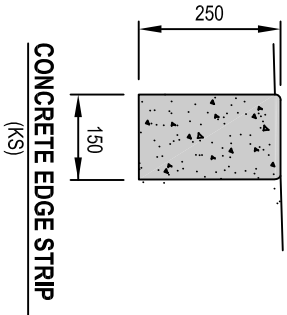
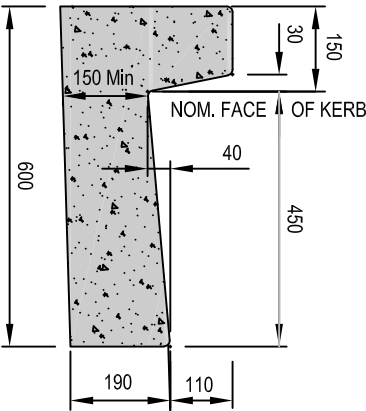
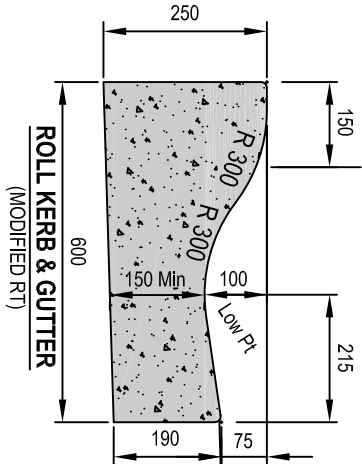
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REV: A
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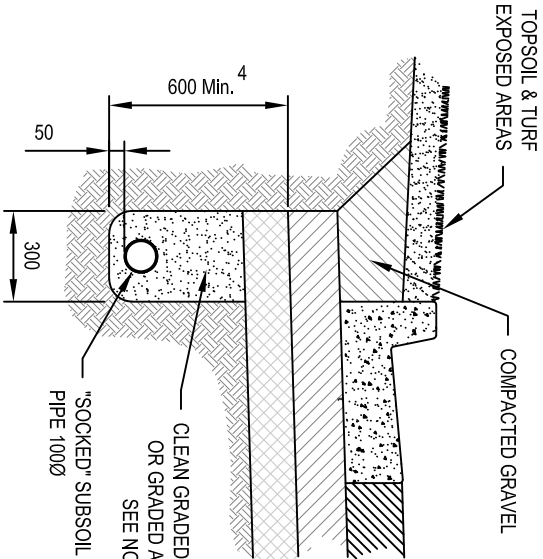


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DESIGN UK/MC		DRAWN UK/MC	
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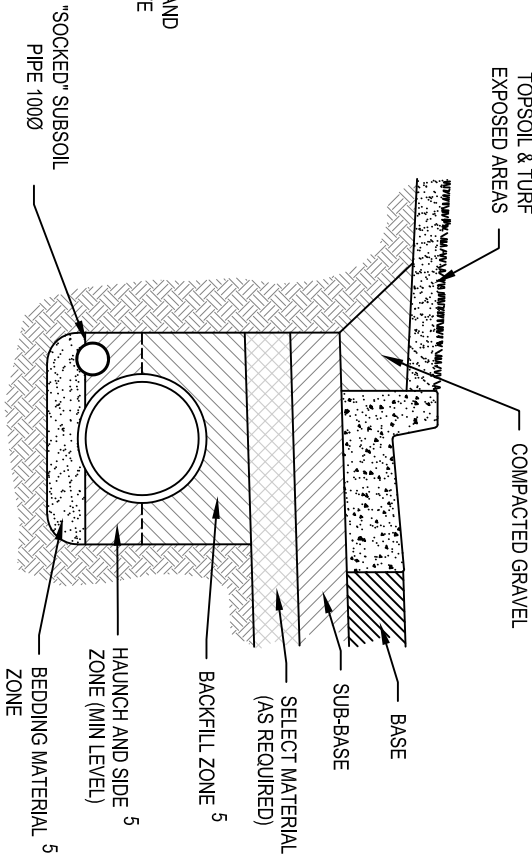




- NOTE:**
- ALL DIMENSIONS IN MILLIMETRES
 - CONCRETE TO BE 32 MPa UNLESS OTHERWISE SPECIFIED
 - ALL EXPOSED CORNERS RADII 10mm UNLESS SPECIFIED OTHERWISE
 - MINIMUM THICKNESS OF CONCRETE TO BE 150mm

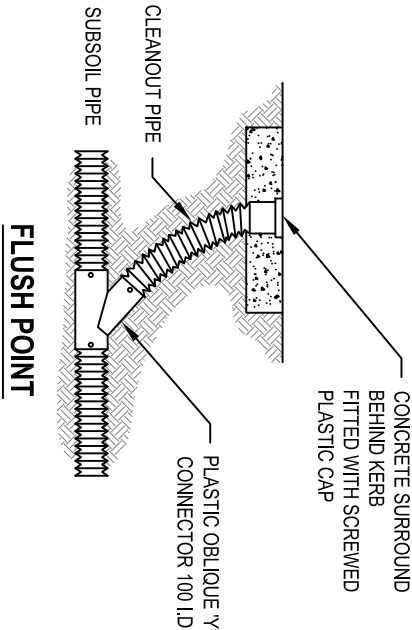


SUBSOIL TYPICAL INSTALLATION



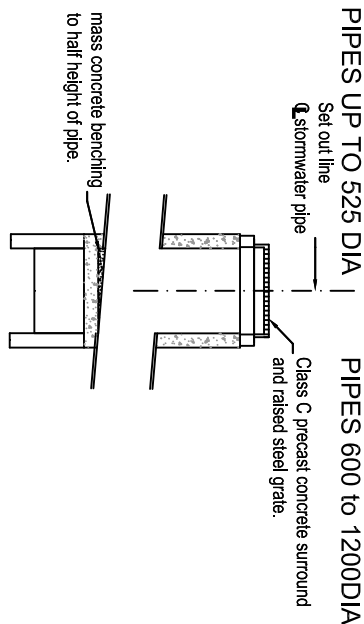
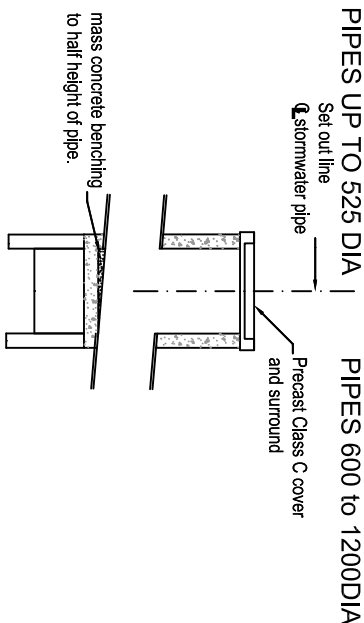
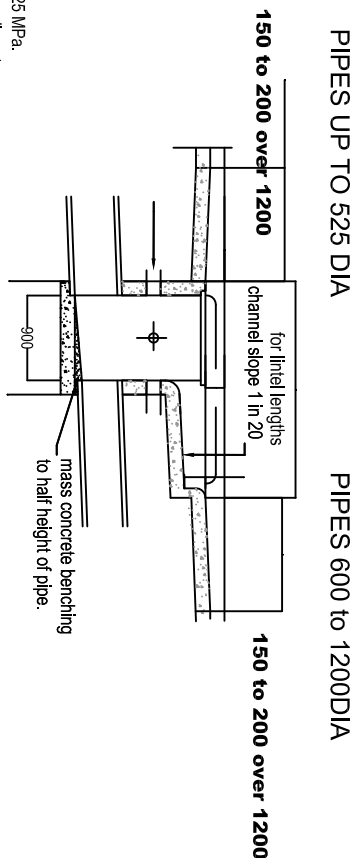
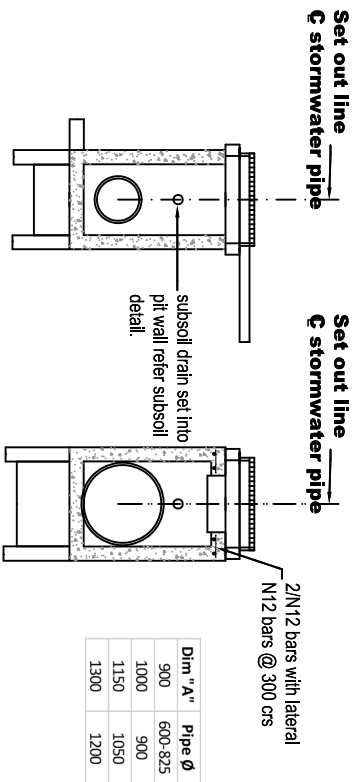
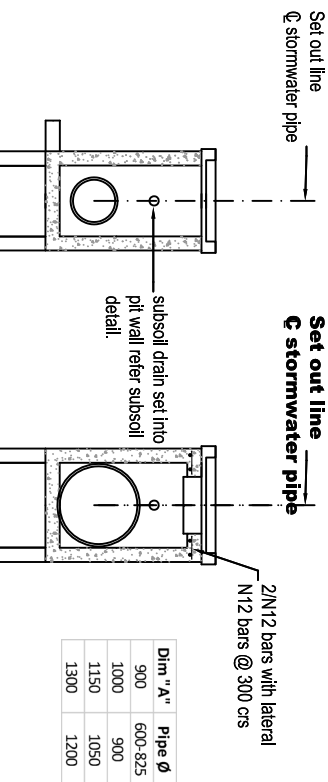
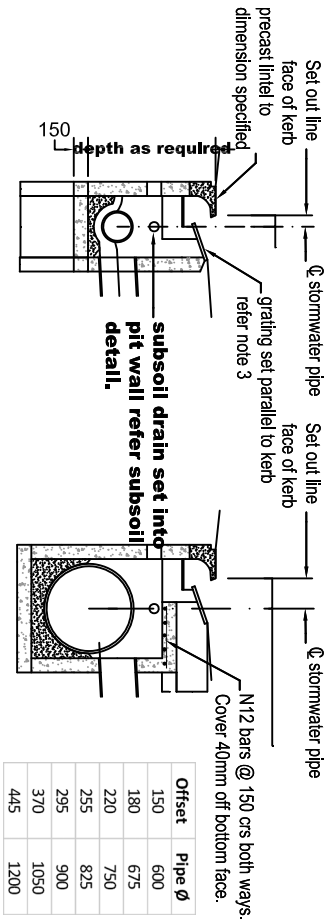
STORMWATER TRENCH WITH SUBSOIL (ALL STORMWATER PIPES)

- NOTE:**
- TYPE, LOCATION AND EXTENT OF ADDITIONAL SUBSOIL DRAINAGE SHALL BE IN ACCORDANCE WITH A GEOTECHNICAL CONSULTANTS ASSESSMENT.
 - A NOMINAL SIZE AGGREGATE (10mm MAXIMUM) MAY BE SUBSTITUTED FOR THE FILTER SAND.
 - FLUSH POINTS SHALL BE PROVIDED AT UPSTREAM DEAD ENDS & CRESTS & AT MAXIMUM OF 60m CTRS.
 - DEPTH MAY BE VARIED IN A ROCK SUBGRADE. SEE THE CONSTRUCTION SECTION OF THE MANUAL OF ENGINEERING STANDARDS FOR TRENCH MATERIAL SPECIFICATION. EACH ZONE MAY BE ONE HOMOGENEOUS APPROVED MATERIAL.



SUB-SOIL DRAINAGE

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DESIGN: MC / UK / RJ		DRAWN: MC / UK / RJ		LGA: MUSWELLBROOK		A FOR DEVELOPMENT APPROVAL		JOB REF: 224103
FILE: 224103_ST6-7_CIVIL		SHEET: CATCH002						



- NOTES:**
1. Concrete strength 25 MPa.
 2. Benching to half pipe diameter.
 3. Pit grate to be approved heavy duty hot dipped galvanised grate hinged at one end and mounted to provide a 40mm clearance to lintel face.
 4. Step irons as required for all pits greater than 1.2m in depth.

- NOTES:**
1. Concrete strength 25 MPa.
 2. Bending to half pipe diameter.
 3. Covers for pits where "A" is >900 shall be provided in two halves.
 4. Step irons as required for all pits grater than 1.2m in depth.

- NOTES:**
1. Concrete strength 25 MPa.
 2. Barring to half pipe diameter.
 3. Gates shall be hot dipped galvanised boiled to frame.
 4. Step irons as required for all pils greater than 1.2 m depth.

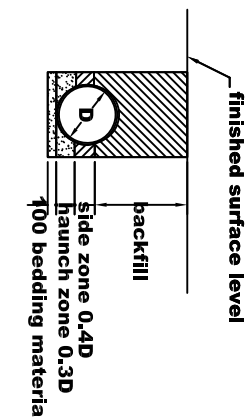
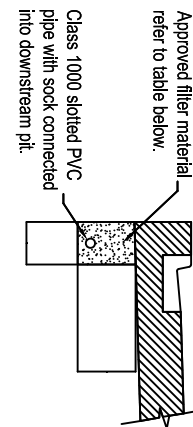
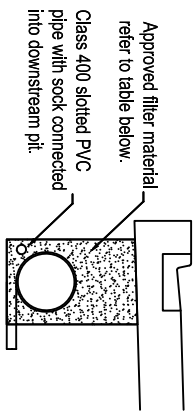
Scale: 1:40
STANDARD GRATED KERB INLET PIT

Scale: 1:40

JUNCTION PITS

Scale: 1:40

SURFACE INLET PIT (RAISED GRATE)



- NOTES FOR REINFORCED CONCRETE PIPES:**
1. Pipes shall be constructed as HS2 piping in accordance with AS/NZS 3725:2007.
 2. Pipe Class shall be as detailed on manhole plans and ring sections.
 3. Trench width shall be 1.4 times external diameter "D" of pipe or "D" plus 300, whichever is greater.
 4. Bedding and haunch material shall be approved granular material free from rock or hard sharp objects conforming with the following grading:

Material passing AS sieve	% by mass
19.0mm	100
2.36mm	100-50
600µm	90-20
300µm	60-10
150µm	25-0
75µm	10-0

5. Side material shall be approved granular material free from rock and hard sharp objects conforming with the following grading:

Material passing AS sieve	% by mass
75.0mm	100
9.5mm	100-50
2.36mm	100-30
600um	50-15
75um	25-0

6. Backfill material shall be material excavated from the trench or imported material, provided there is no rocks or other material > 75mm. Backfill under or within 0.5m of road carriageways shall conform with side zone material and grading.
7. Compaction standards shall conform with the following standards:

Location	Compaction standard
Bedding	Density index 60
Haunch Zone	Density index 60
Side Zone	Density index 60
Backfill	Same standard as required for earthworks. Under roads – Density index 70.

1. Trench width shall be 1.4 times external diameter of pipe or ext Diameter plus 300, whichever is greater.
 2. Filter material shall be approved Type B filter material with a minimum coefficient of saturated permeability of 3mm/day flow and shall conform with the following grading
- | Material passing
AS sieve | % by mass |
|------------------------------|-----------|
| 4.75mm | 100 |
| 2.36mm | 95-100 |
| 425um | 20-80 |
| 300um | 0-30 |
| 150um | 0-2 |
| 75um | 0-0.1 |
3. Upstream end of the PVC pipe shall be built into the upstream pit wall at a level as high as possible.
- Filter material shall be compacted to a density index of 60.

1. Filter material shall be approved "Type B" filter material with a minimum coefficient of uniformity of 1.5 and shall conform with the following grading.
- | Material passing
AS sieve | % by mass |
|------------------------------|-----------|
| 4.75mm | 100 |
| 2.36mm | 95-100 |
| 425um | 20-80 |
| 300um | 0-30 |
| 150um | 0-2 |
| 75um | 0-0.1 |
2. Filter material shall be compacted to a density index of 80.
 3. Outlets shall be provided at locations approved by the Superintendent at intervals not exceeding 150m.
 4. Clearouts shall be provided at locations approved by the Superintendent at intervals not exceeding 50m.

Scale: 1:40


COMBINED DRAINAGE AND SUB-SOIL

Scale: 1:40

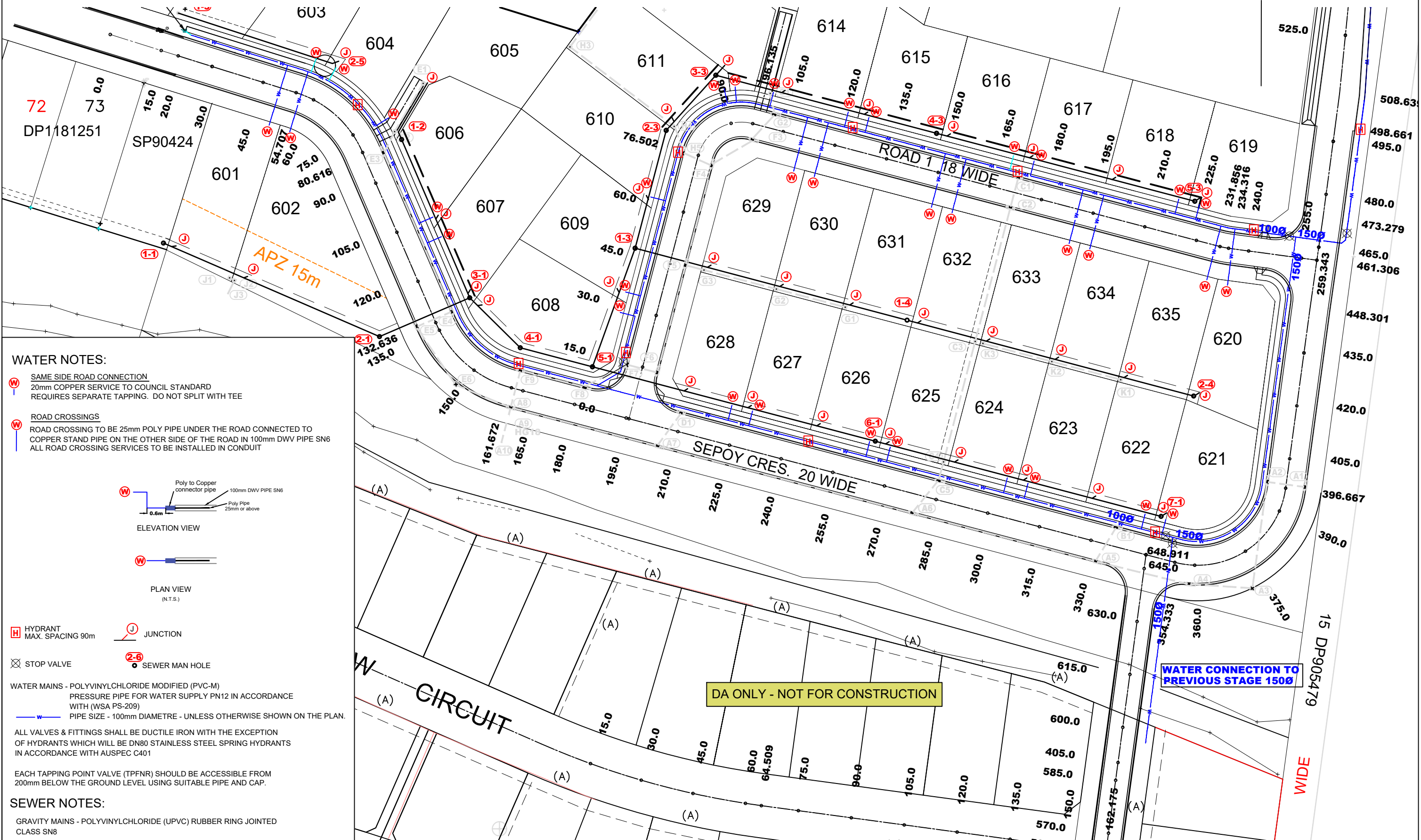
SUB-SOIL DRAINAGE

Scale: 1:40

PIPE DRAINAGE

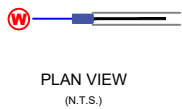
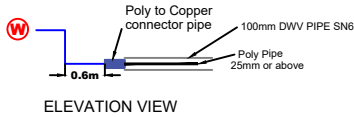
PLANS PREPARED BY		CLIENT	
MMI HYNDES BAILEY & Co. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN <i>Surveying the Hunter since 1920</i> Ph: 02 66432475 Fax: 02 66434400 Email: office@mbasurveys.com.au 132 Kelly Street (PO Box 432) SCONE NSW 2337			
STORMWATER NOTES & DETAILS		PLAN ISSUE	
NORTH/VIEW ESTATE - STAGE 6 & 7		FOR DEVELOPMENT APPROVAL	
H.SCALE: 1:500 CONT. INT: 0.5m		15.11.2024	
ORIGINAL DRAWING SIZE: A1 MGA94		REV: A	
LGA: MUSWELLBROOK		JOB REF: 224103	
DESIGN: MC / UK / RJ		FILE: 224103_ST6-7_CIVIL	
DRAWN: MC / UK / RJ		SHEET: CATCH003	

NOTE: LOCATION OF VALVES FOR HIGH / LOW PRESSURE ZONES TO BE LOCATED IN CONSULTATION WITH COUNCIL AT SWC



WATER NOTES:

- SAME SIDE ROAD CONNECTION**
20mm COPPER SERVICE TO COUNCIL STANDARD
REQUIRES SEPARATE TAPPING. DO NOT SPLIT WITH TEE
- ROAD CROSSINGS**
ROAD CROSSING TO BE 25mm POLY PIPE UNDER THE ROAD CONNECTED TO
COPPER STAND PIPE ON THE OTHER SIDE OF THE ROAD IN 100mm DWV PIPE SN6
ALL ROAD CROSSING SERVICES TO BE INSTALLED IN CONDUIT



- HYDRANT**
MAX. SPACING 90m
- JUNCTION**
- STOP VALVE**
- SEWER MAN HOLE**

WATER MAINS - POLYVINYLCHLORIDE MODIFIED (PVC-M)
PRESSURE PIPE FOR WATER SUPPLY PN12 IN ACCORDANCE
WITH (WSA PS-209)
PIPE SIZE - 100mm DIAMETRE - UNLESS OTHERWISE SHOWN ON THE PLAN.

ALL VALVES & FITTINGS SHALL BE DUCTILE IRON WITH THE EXCEPTION
OF HYDRANTS WHICH WILL BE DN80 STAINLESS STEEL SPRING HYDRANTS
IN ACCORDANCE WITH AUSPEC C401

EACH TAPPING POINT VALVE (TPFNR) SHOULD BE ACCESSIBLE FROM
200mm BELOW THE GROUND LEVEL USING SUITABLE PIPE AND CAP.

SEWER NOTES:

GRAVITY MAINS - POLYVINYLCHLORIDE (UPVC) RUBBER RING JOINTED
CLASS SN8

PLANS PREPARED BY

MM HYNDES BAILEY & Co.
REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN
Surveying the Hunter since 1920



Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au
132 Kelly Street (PO Box 432), SCONE NSW 2337

CLIENT



SEWER AND WATER LAYOUT PLAN
SHEET 1
NORTHVIEW ESTATE - STAGE 6 & 7

DESIGN:
M. COLE
R. JONES

DRAWN:
M. COLE
R. JONES

H.SCALE: 1:1000 CONT. INT: 0.5m
ORIGINAL DRAWING SIZE: A1 MGA94
LGA: MUSWELLBROOK
FILE: 224103_ST6-7_SEWER WATER
SHEET: SEW001

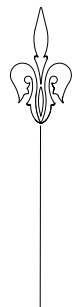
PLAN ISSUE

A FOR DEVELOPMENT APPROVAL

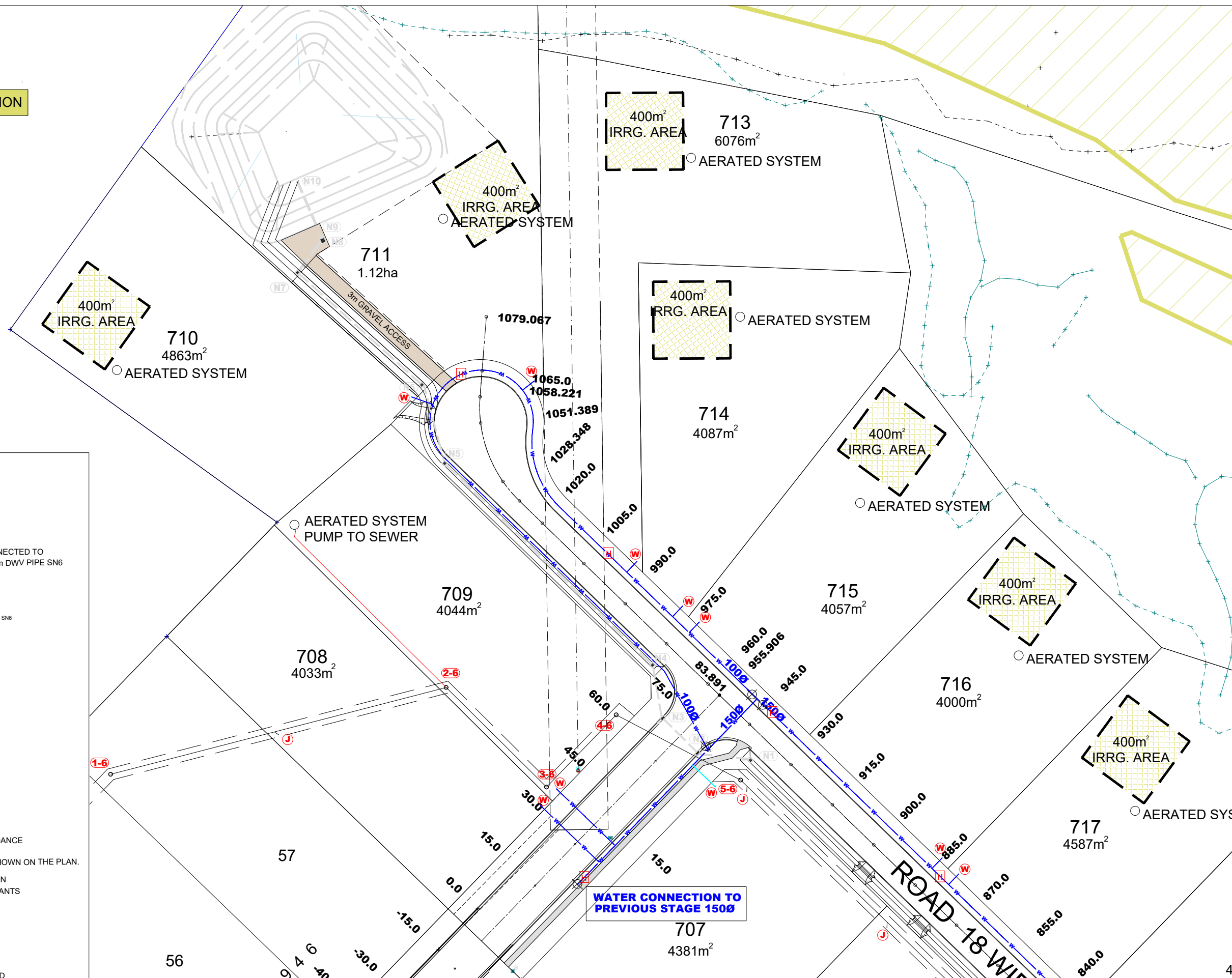
15.11.2024

REV: A

JOB REF:
224103

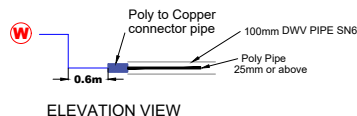


DA ONLY - NOT FOR CONSTRUCTION



WATER NOTES:

- SAME SIDE ROAD CONNECTION
20mm COPPER SERVICE TO COUNCIL STANDARD
REQUIRES SEPARATE TAPPING. DO NOT SPLIT WITH TEE
- ROAD CROSSINGS
ROAD CROSSING TO BE 25mm POLY PIPE UNDER THE ROAD CONNECTED TO
COPPER STAND PIPE ON THE OTHER SIDE OF THE ROAD IN 100mm DWV PIPE SN6
ALL ROAD CROSSING SERVICES TO BE INSTALLED IN CONDUIT



ELEVATION VIEW



PLAN VIEW
(N.T.S.)

- HYDRANT
MAX. SPACING 90m
- JUNCTION

- STOP VALVE
- SEWER MAN HOLE

WATER MAINS - POLYVINYLCHLORIDE MODIFIED (PVC-M)
PRESSURE PIPE FOR WATER SUPPLY PN12 IN ACCORDANCE
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EACH TAPPING POINT VALVE (TPFNR) SHOULD BE ACCESSIBLE FROM
200mm BELOW THE GROUND LEVEL USING SUITABLE PIPE AND CAP.

SEWER NOTES:

GRAVITY MAINS - POLYVINYLCHLORIDE (UPVC) RUBBER RING JOINTED
CLASS SN8

CLIENT

SEWER AND WATER LAYOUT PLAN
SHEET 3
NORTHVIEW ESTATE - STAGE 6 & 7

H.SCALE: 1:500

CONT. INT: 0.5m

PLAN ISSUE

15.11.2024

MM HYNDES BAILEY & Co.
REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN
Surveying the Hunter since 1920



TINDALE

DESIGN:
M. COLE
R. JONES

DRAWN:
M. COLE
R. JONES

LGA: MUSWELLBROOK

FILE: 224103_ST6-7_SEWER WATER

SHEET: SEW003

A FOR DEVELOPMENT APPROVAL

REV: A

JOB REF:
224103

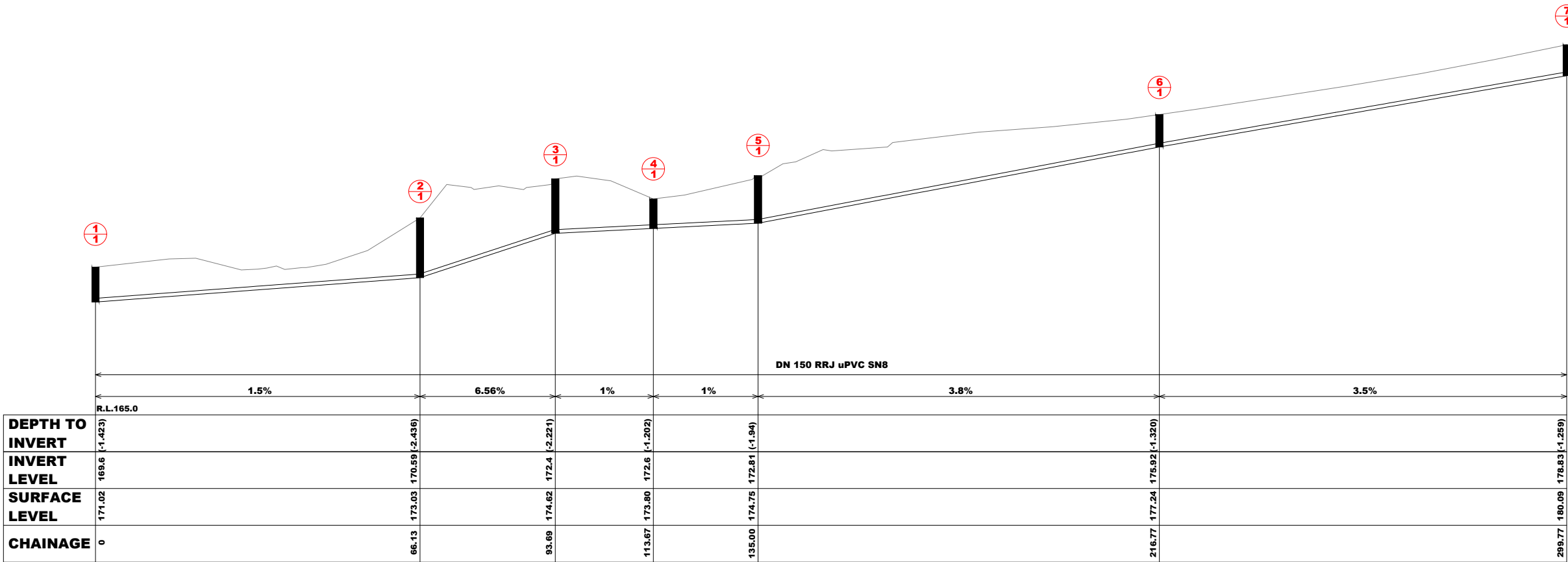
Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au
132 Kelly Street (PO Box 432), SCONE NSW 2337

SEWER MAINS DEEPER THAN 1.5m TO HAVE VERTICAL RISERS (JUMP UPS) TO A DEPTH NOT MORE THAN 1.5m OR TO THE REQUIRED PROPERTY CONNECTION LEVEL
SEE DETAILS SHEET

INSTALL TRENCHSTOPS WHERE APPLICABLE - SEE DETAILS SHEET

GRADE %	REQUIREMENT	SPACING S m
5 - 14	TRENCHSTOPS	S = 100/GRADE (%)
15 - 29	CONCRETE BULKHEAD	S = Lp/Grade (%), WHERE Lp = 80 x PIPE LENGTH*, m (450 m MAX) WHERE Lp>100 m - USE INTERMEDIATE TRENCHSTOPS AT SPACING < 100/GRADE (%)
30 - 50	CONTINUOUS CONCRETE ENCSEMENT OF PIPELINE AND CONCRETE BULKHEADS	S = 100/GRADE (%)
> 50	SPECIAL DESIGN	

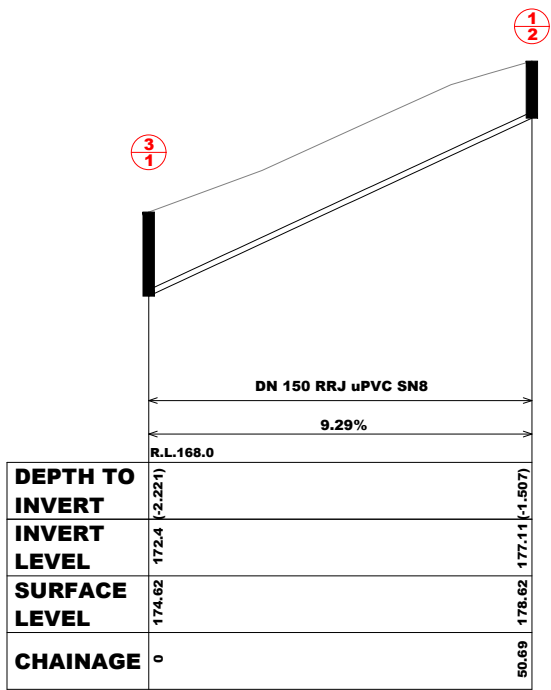
REQUIREMENTS FOR BULKHEADS AND TRENCHSTOPS



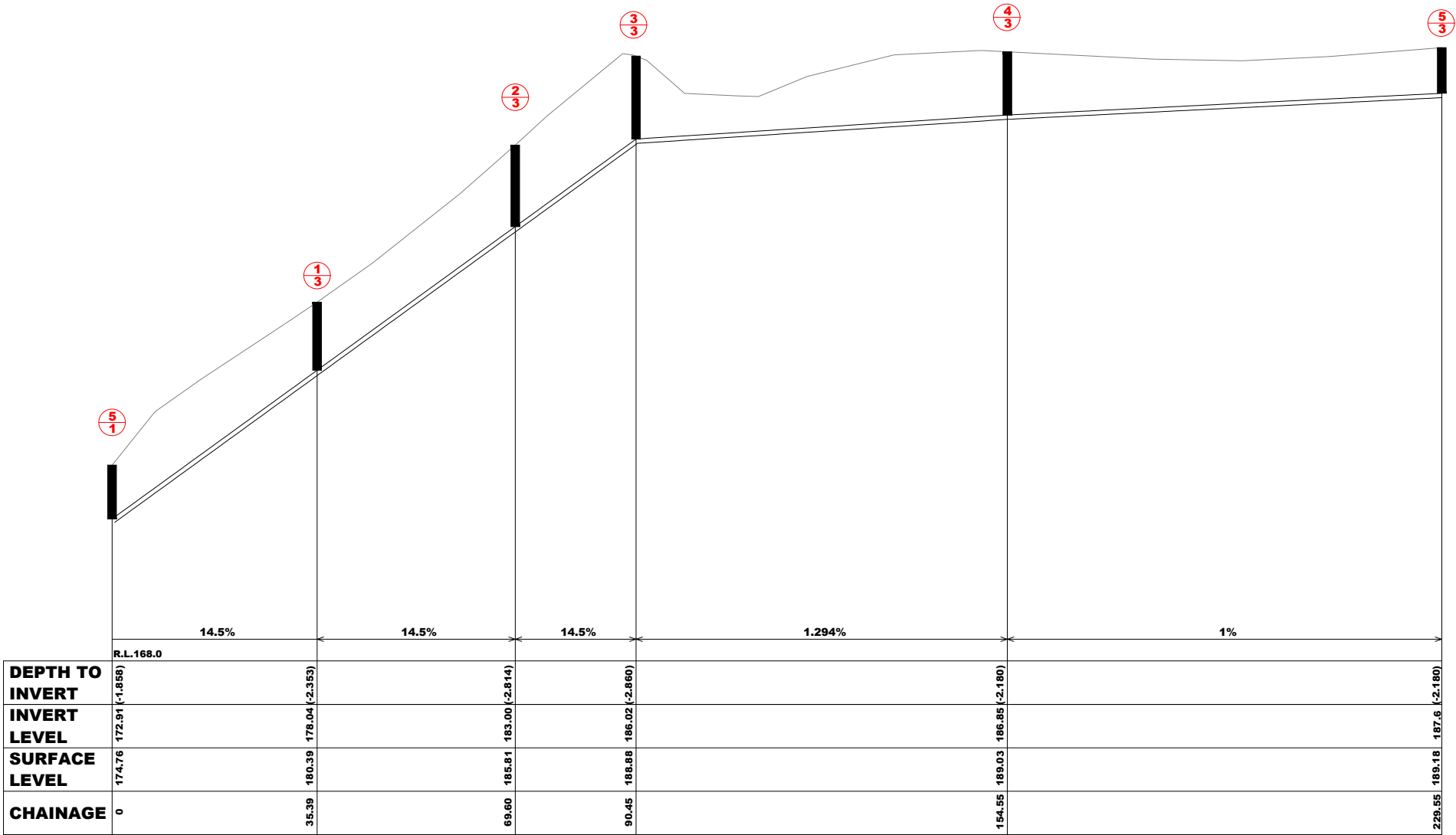
SEWER LINE 1
H=1:500 V=1:100

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PLANS PREPARED BY		CLIENT	SEWER LINE 1 LONG SECTION		H.SCALE: CONT. INT: 0.5m		PLAN ISSUE		15.11.2024
<div>MM HYNDES BAILEY & Co.</div> <div>REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN</div> <div>Surveying the Hunter since 1920</div> <div>Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au</div> <div>132 Kelly Street (PO Box 432), SCONE NSW 2337</div> <div></div>		<div>TINDALE</div>	NORTHVIEW ESTATE - STAGE 6 & 7		ORIGINAL DRAWING SIZE: A1 MGA94		A	FOR DEVELOPMENT APPROVAL	REV: A
			DESIGN: M. COLE R. JONES		DRAWN: M. COLE R. JONES				JOB REF:
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					SHEET: SEW-004				

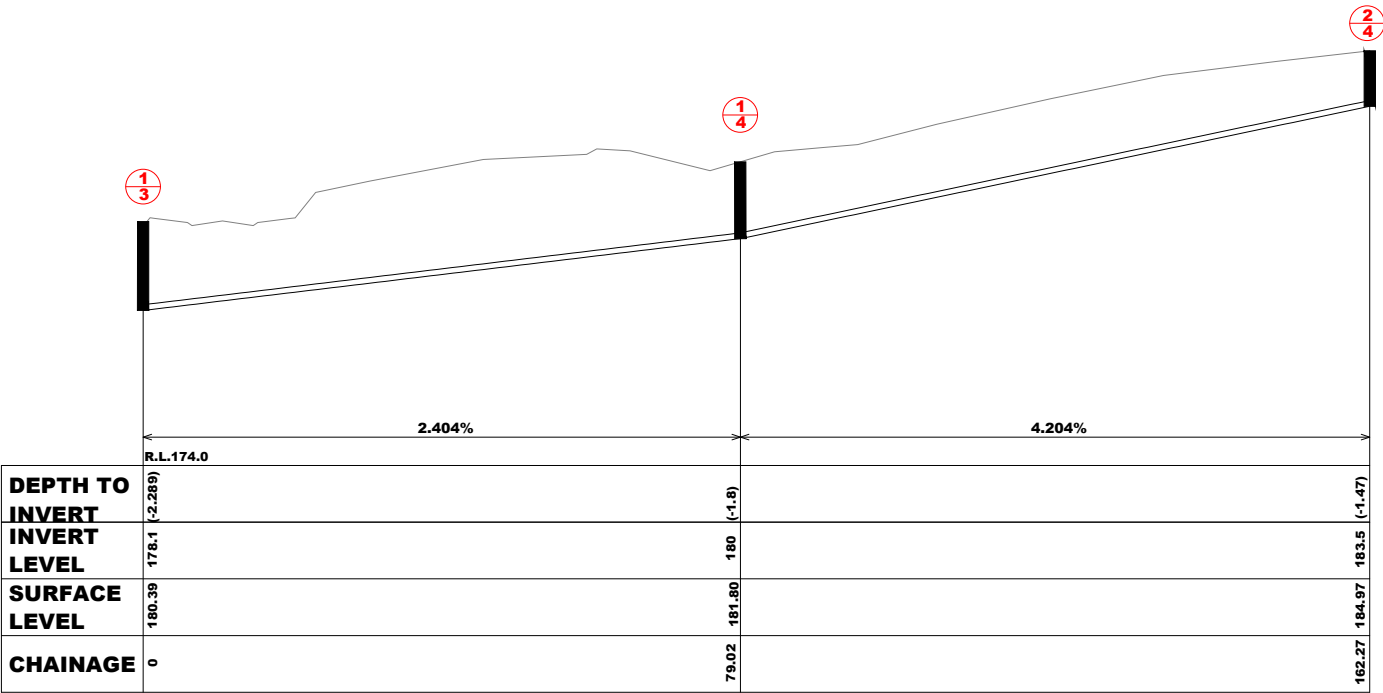


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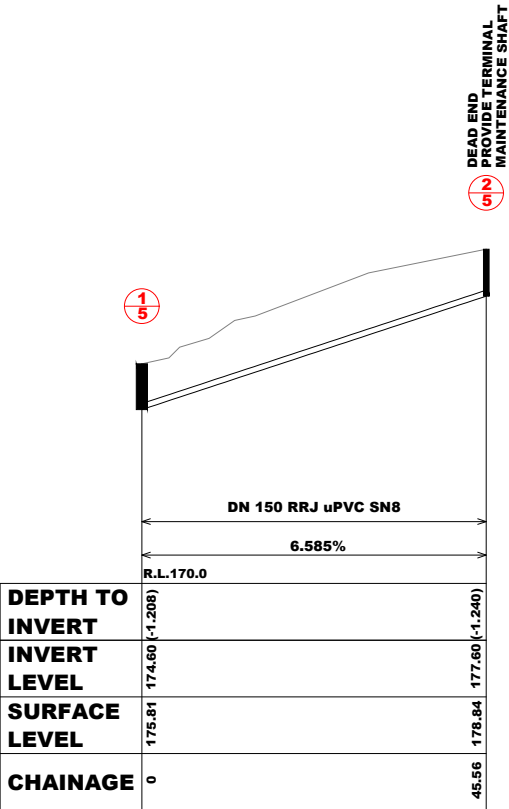


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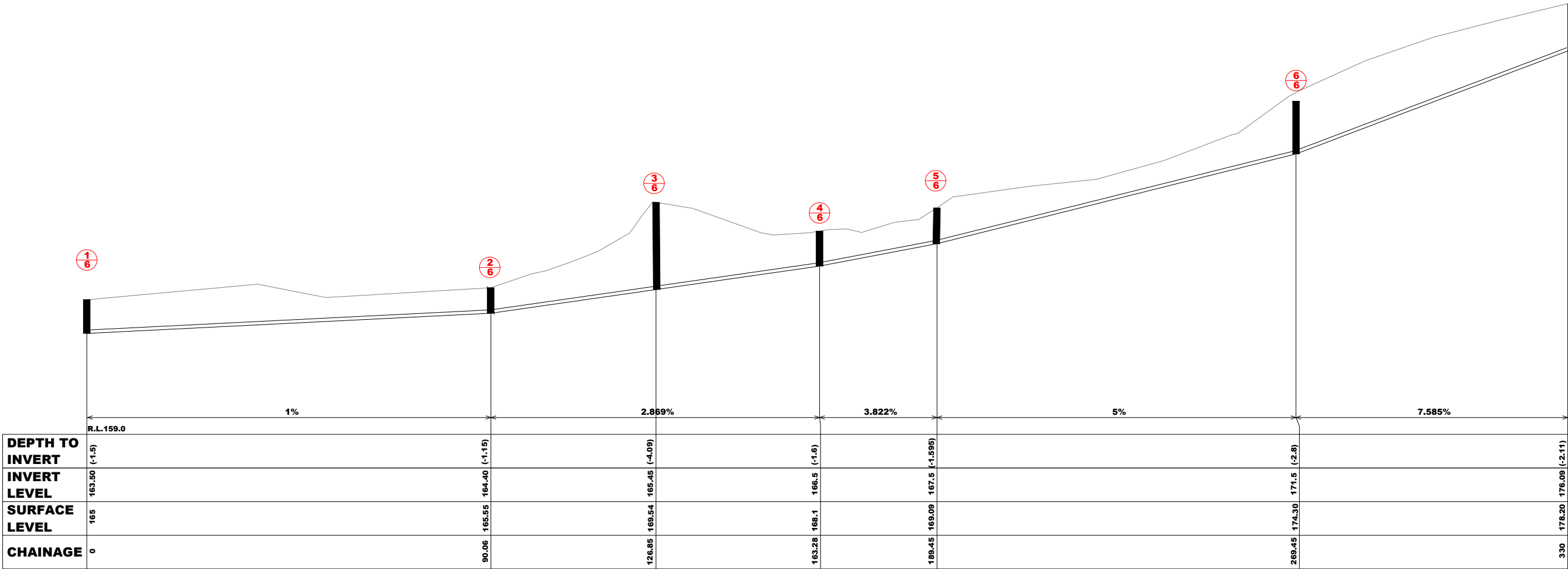
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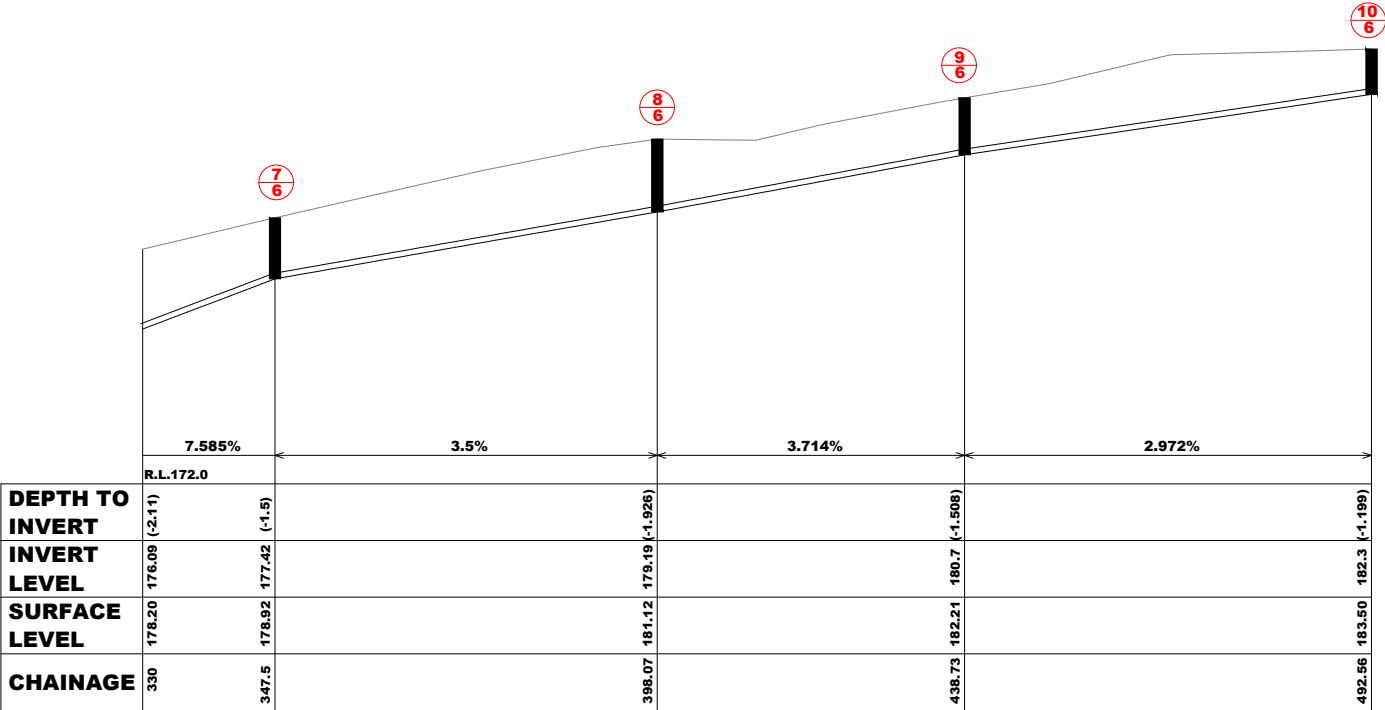
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H=1:500 V=1:100

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PLANS PREPARED BY		CLIENT		SEWER LINE 4 & 5 LONG SECTION		H.SCALE: 1: CONT. INT: 0.5m		PLAN ISSUE		15.11.2024
<div>MM HYNDES BAILEY & Co.</div> <div>REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN</div> <div>Surveying the Hunter since 1920</div> <div>Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au</div> <div>132 Kelly Street (PO Box 432), SCONE NSW 2337</div> <div></div>		<div>TINDALE</div>		NORTHVIEW ESTATE - STAGE 6 & 7		ORIGINAL DRAWING SIZE: A1 MGA94		A	FOR DEVELOPMENT APPROVAL	REV: A
				DESIGN: M. COLE R. JONES		DRAWN: M. COLE R. JONES				
				FILE: 224103_ST6-7_SEWER WATER		SHEET: SEW-006				JOB REF: 224103

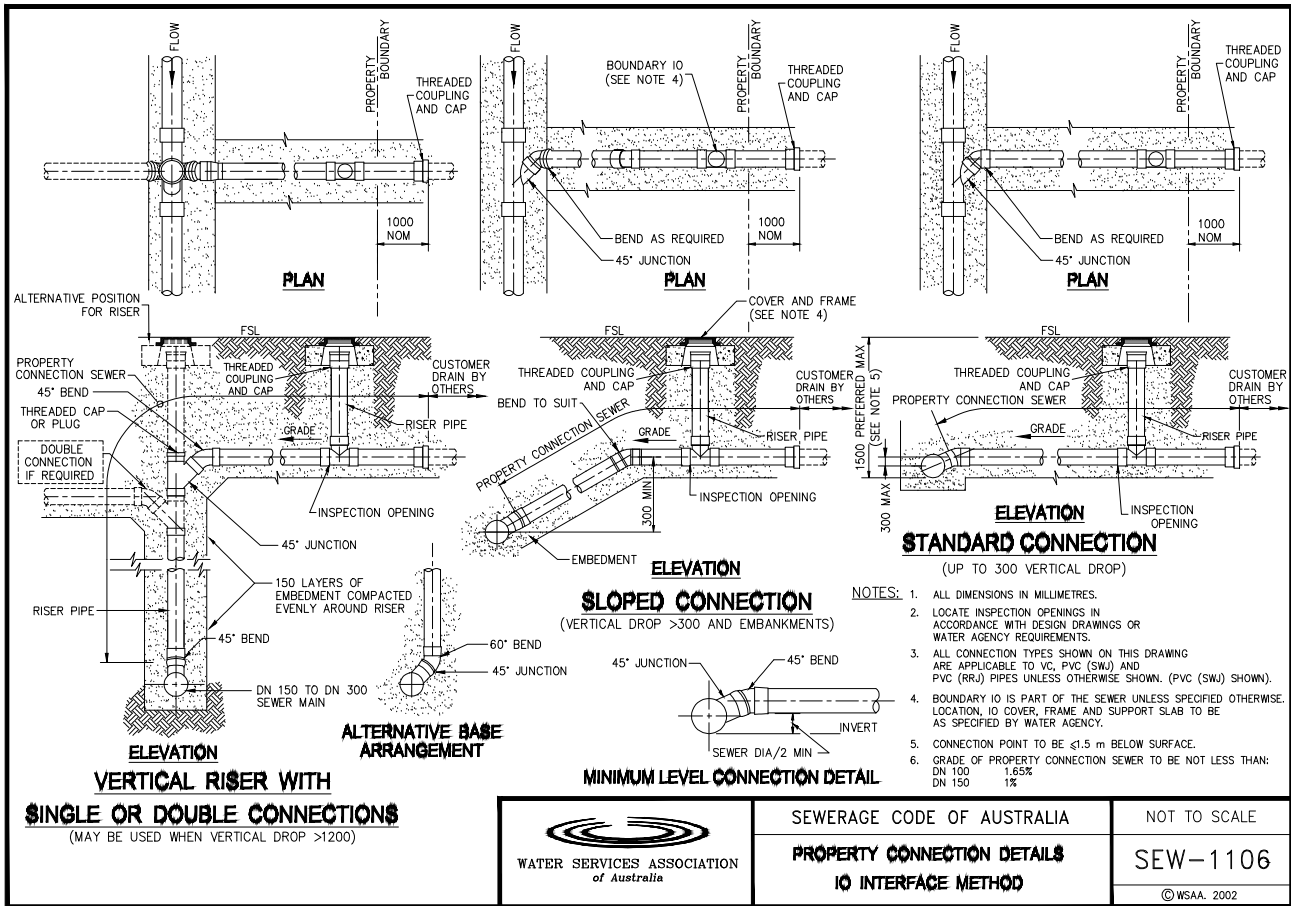


SEWER LINE 6
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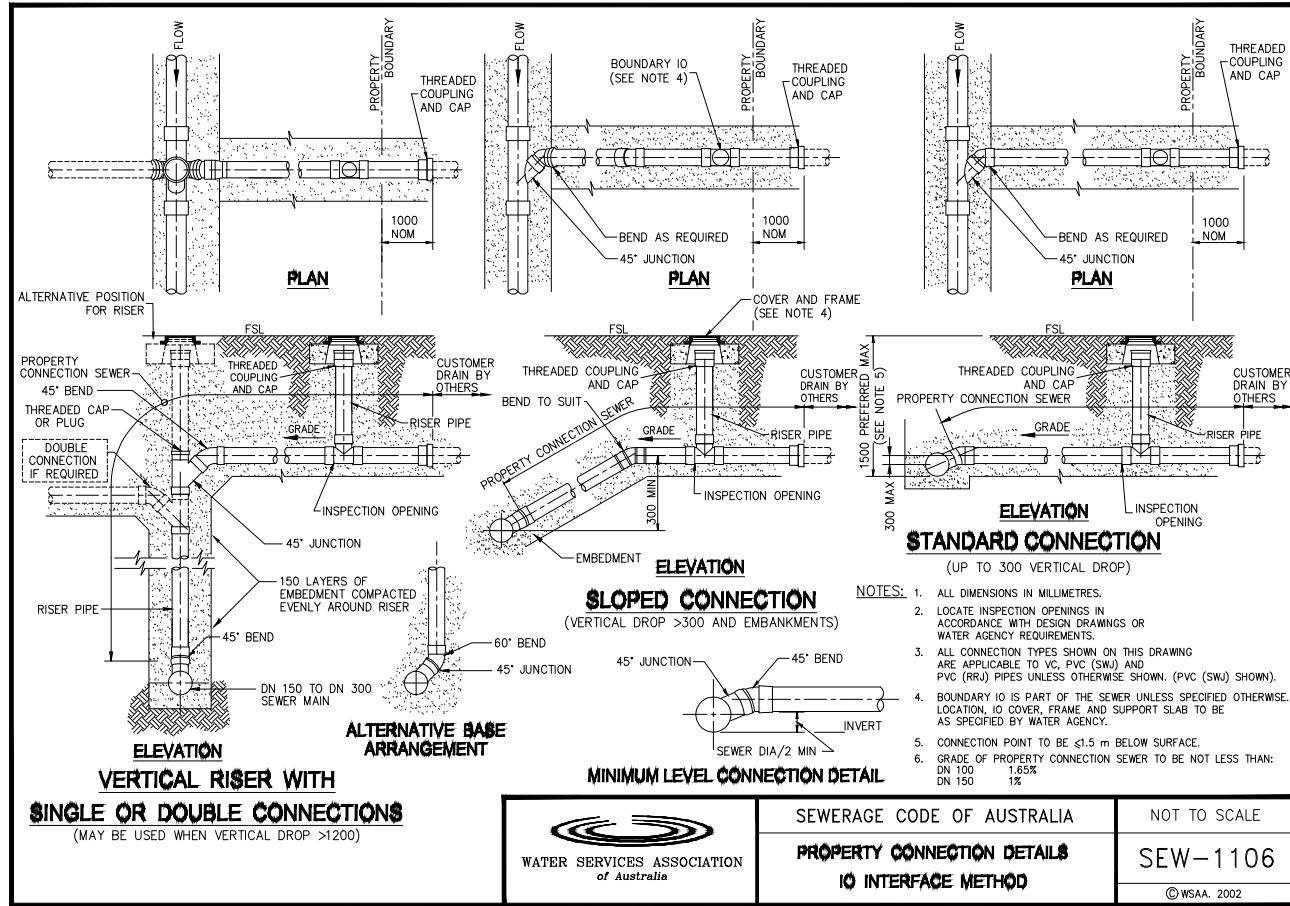


SEWER LINE 6
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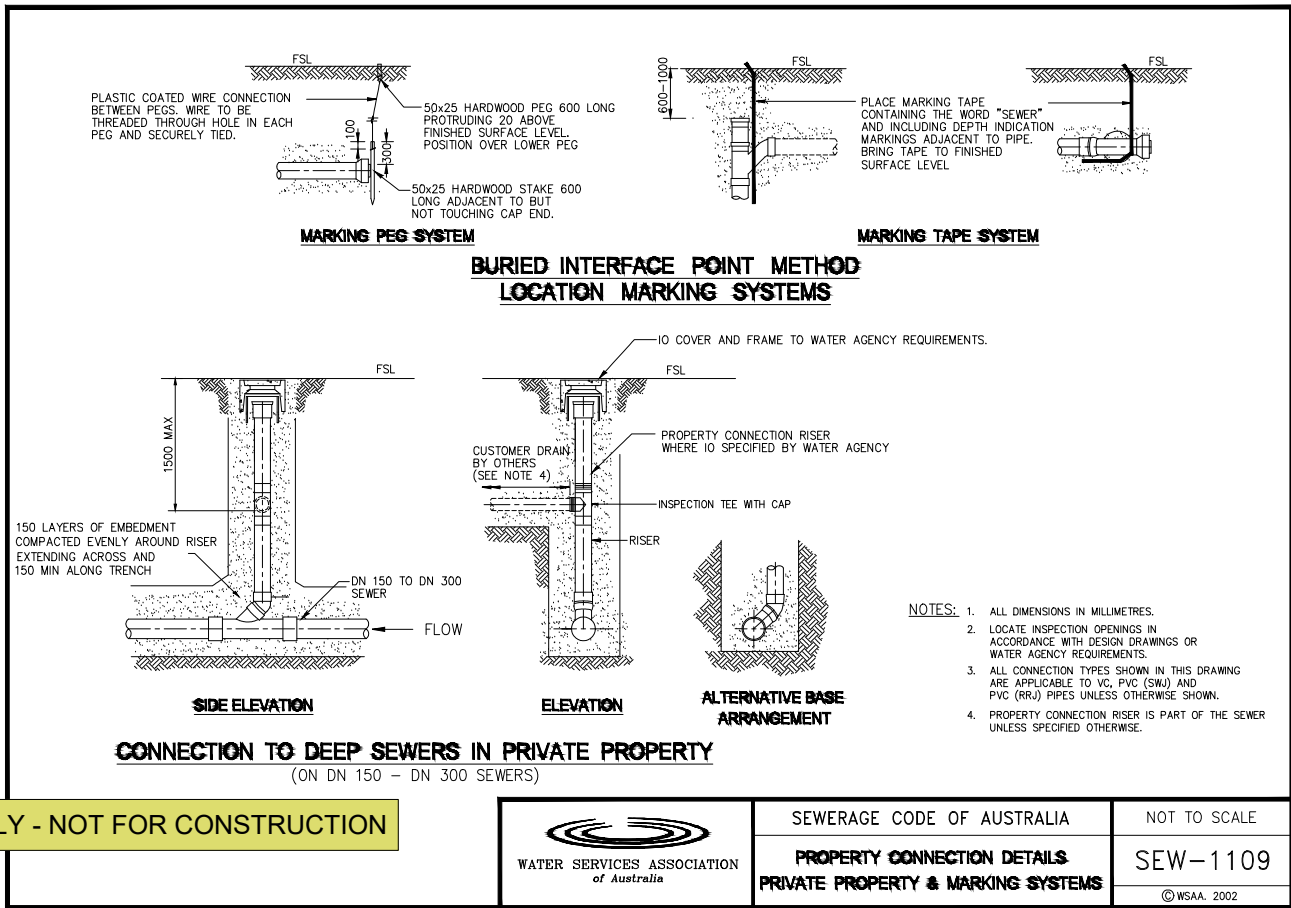
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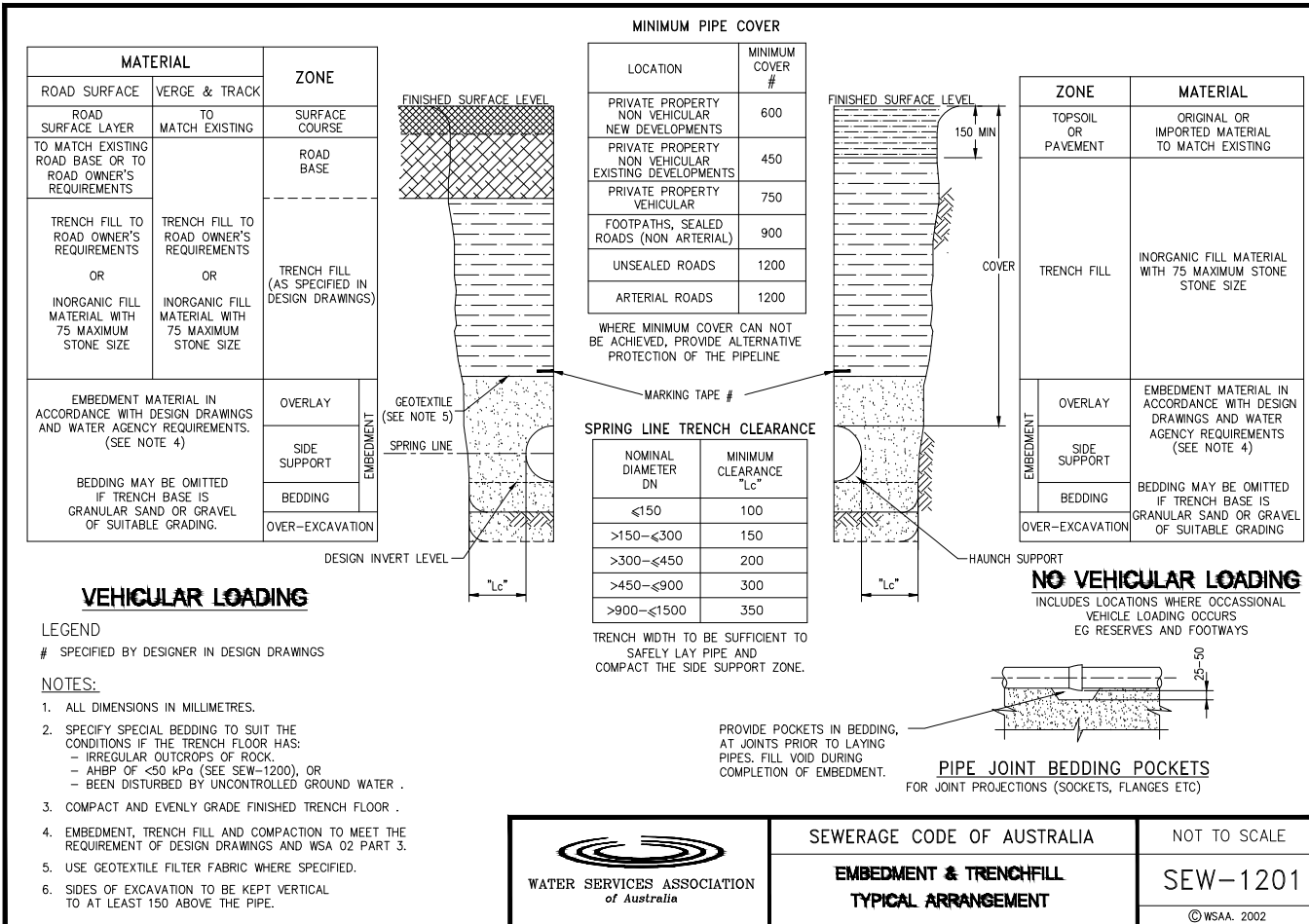
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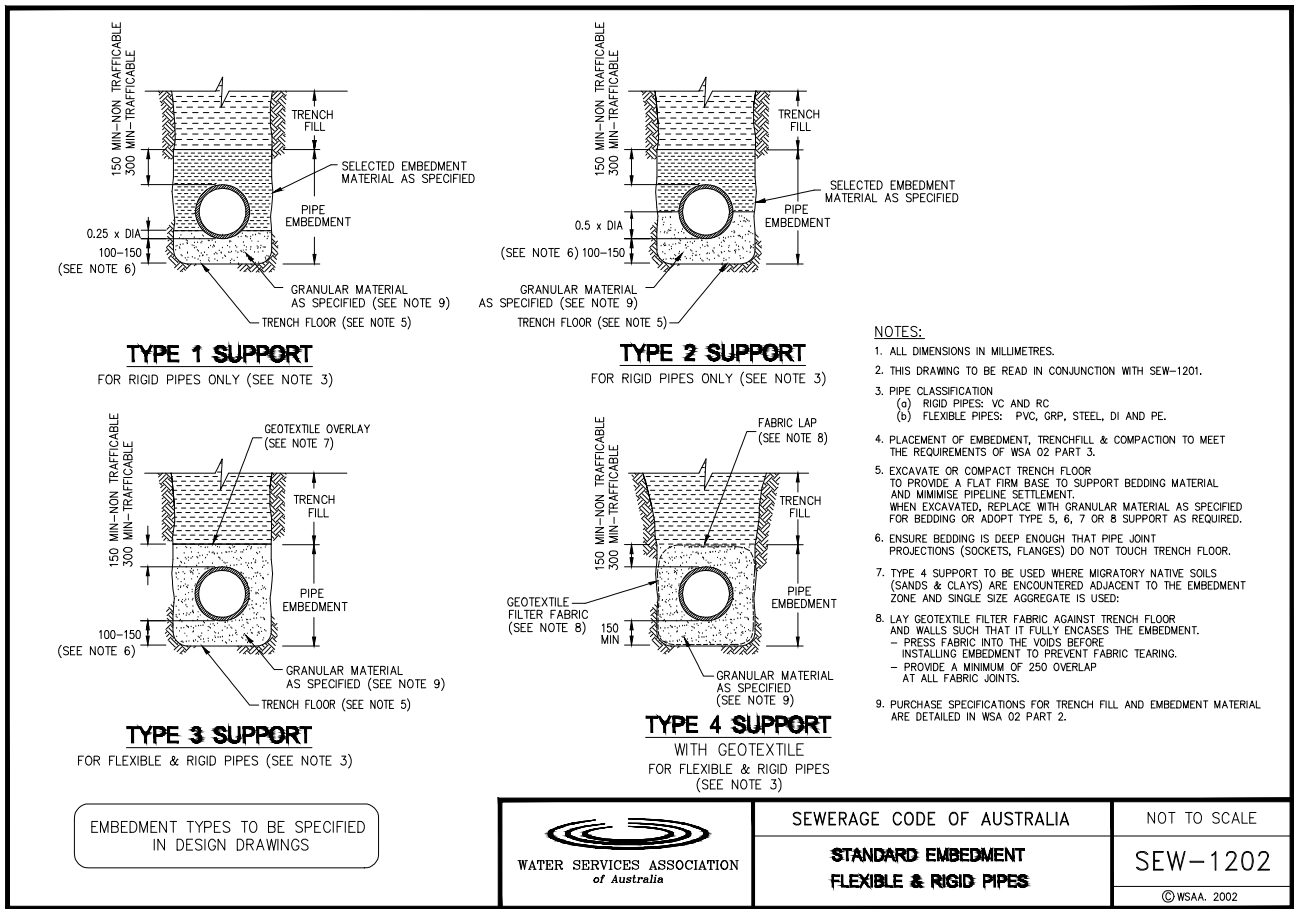


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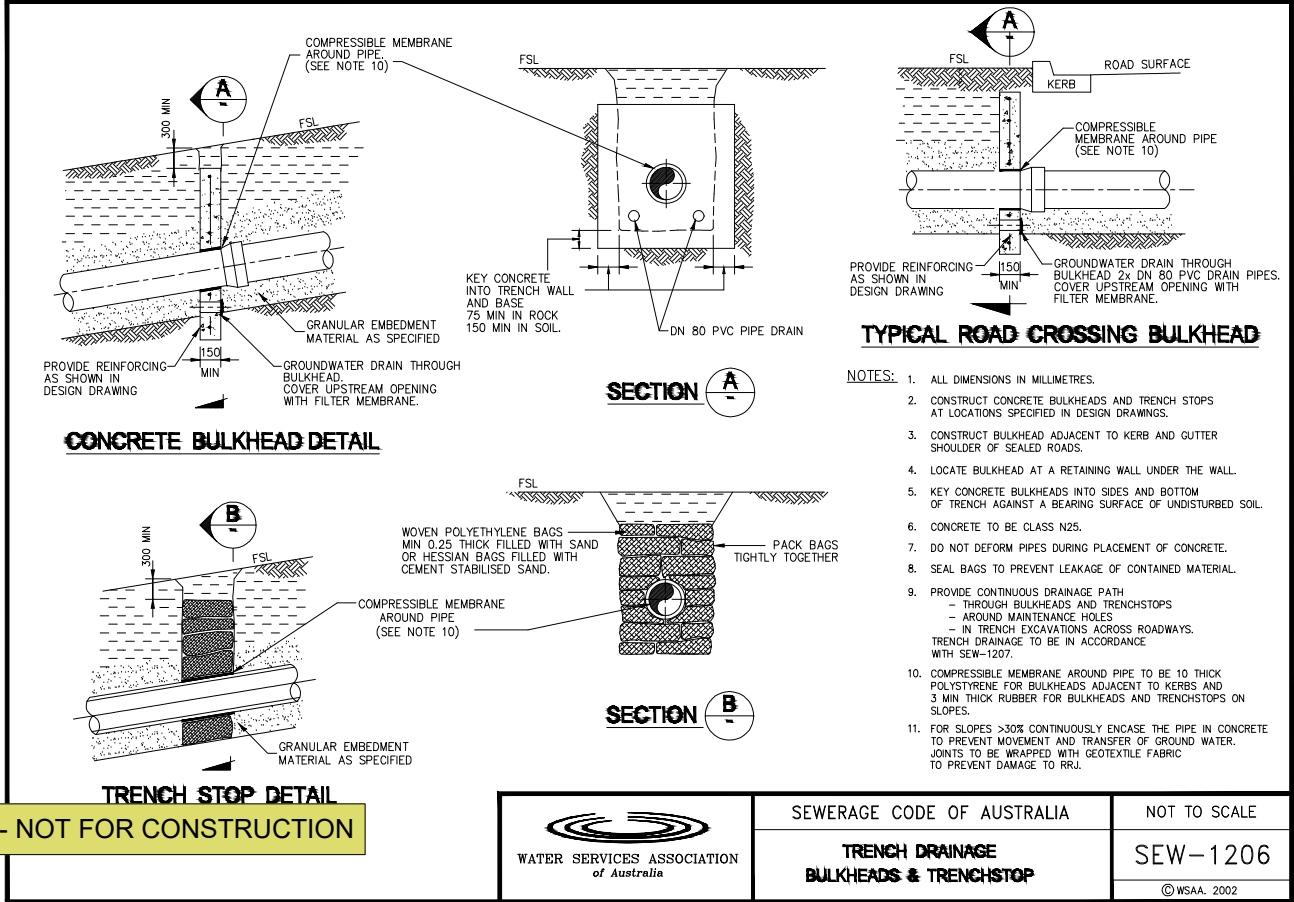


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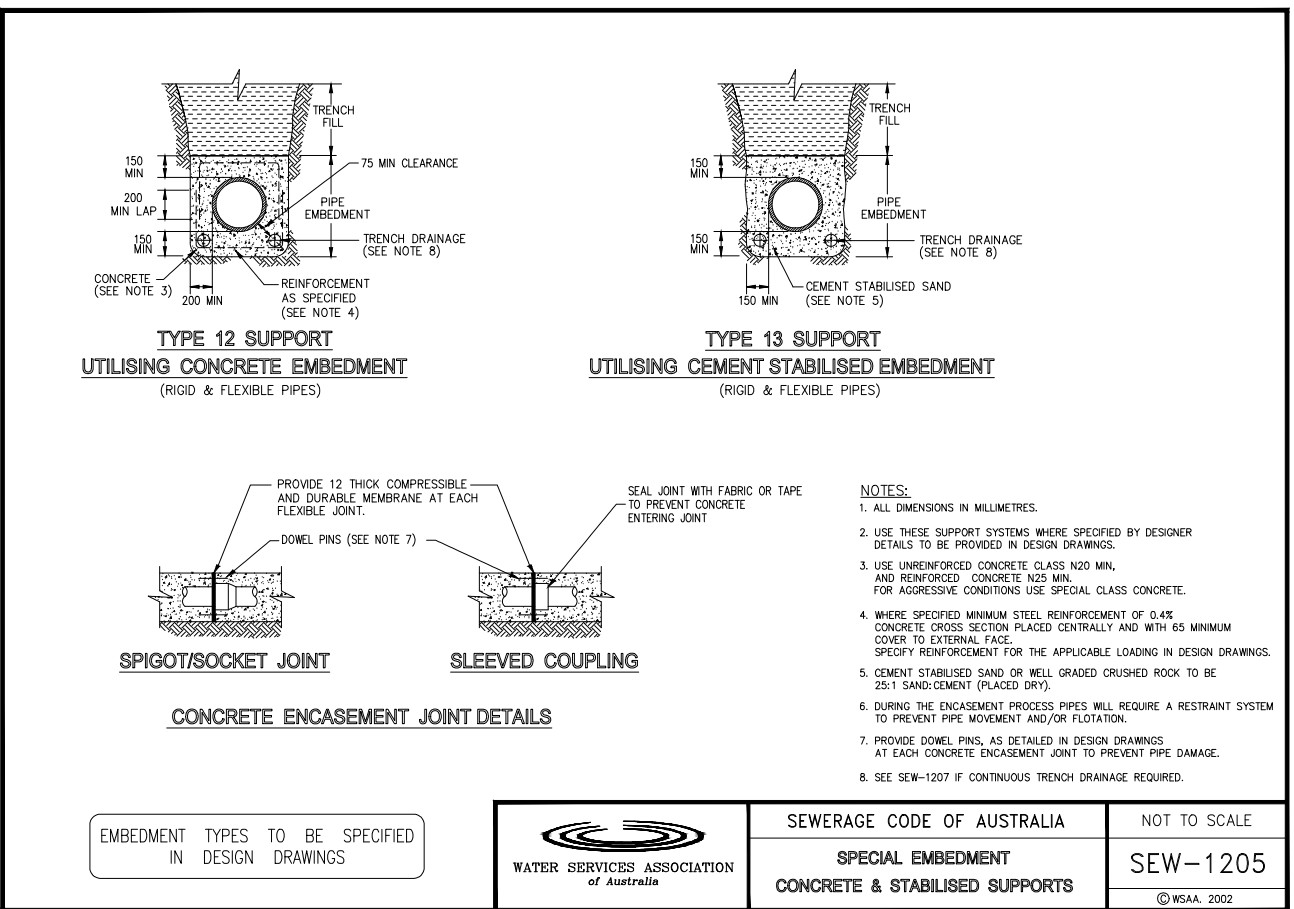
PLANS PREPARED BY MM HYNDES BAILEY & Co. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN <i>Surveying the Hunter since 1920</i>		CLIENT TINDALE		SEWER DETAILS IN ACCORDANCE WITH SEWER CODE OF AUSTRALIA - SHEET 1 NORTHVIEW ESTATE - STAGE 6 & 7		ORIGINAL DRAWING SIZE: A1 MGA94		PLAN ISSUE A FOR DEVELOPMENT APPROVAL		15.11.2024
Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au 132 Kelly Street (PO Box 432), SCONE NSW 2337		DESIGN: M. COLE R. JONES		DRAWN: M. COLE R. JONES		FILE: 224103_ST6-7_SEWER WATER SHEET: SEW-008		JOB REF: 224103		REV: A



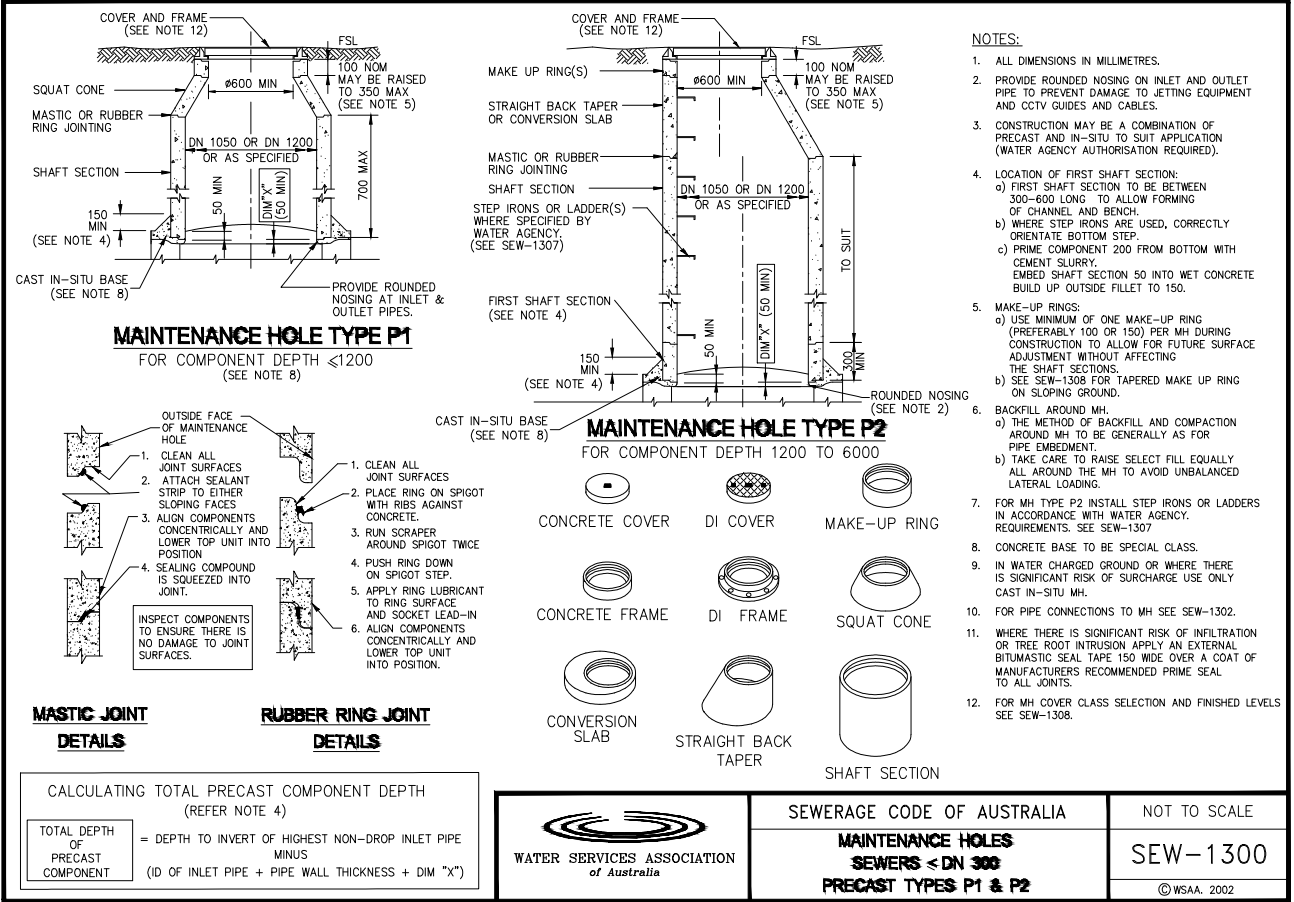
ADDITIONAL INFORMATION PROVIDED IN SEW-1200 SERIES COMMENTARY



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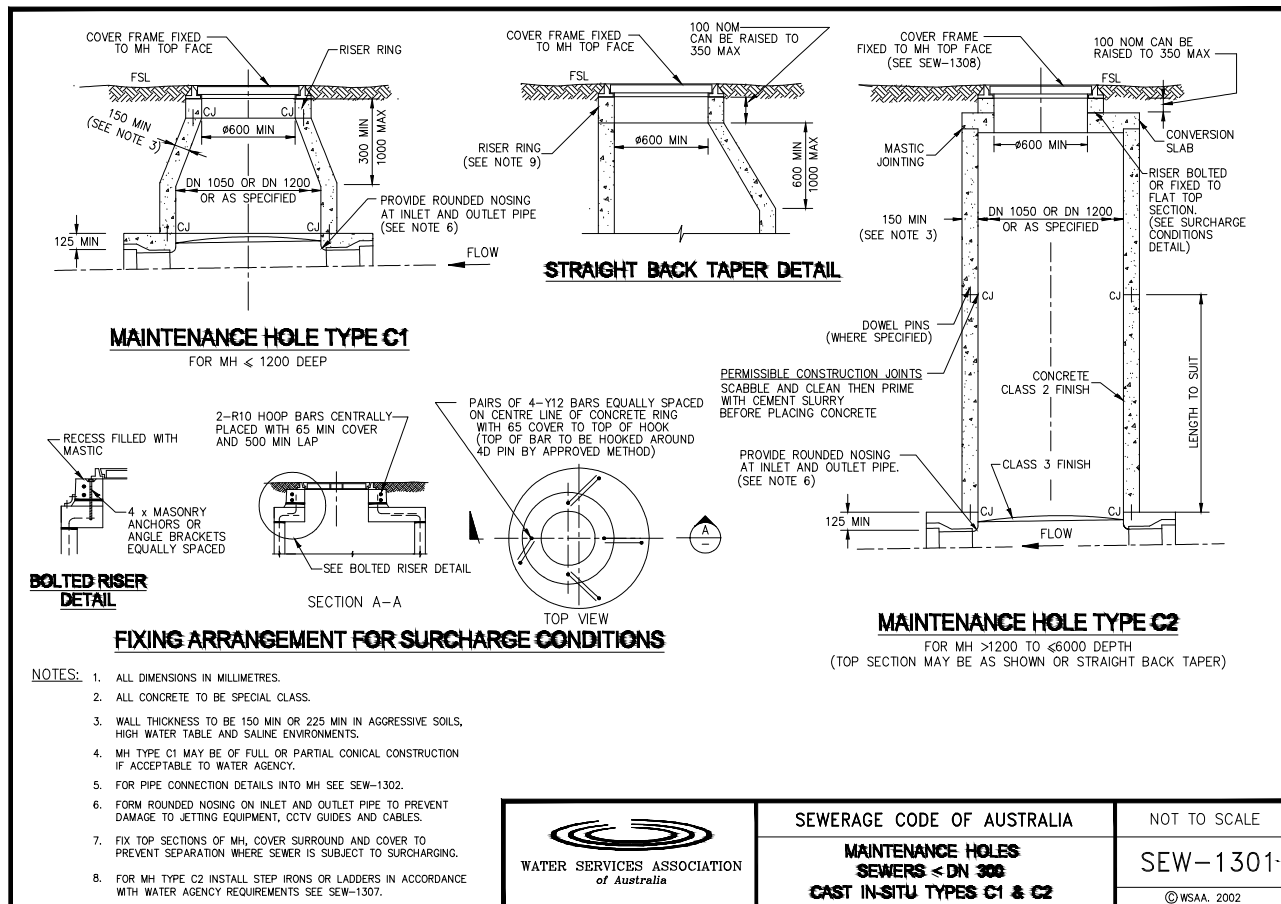


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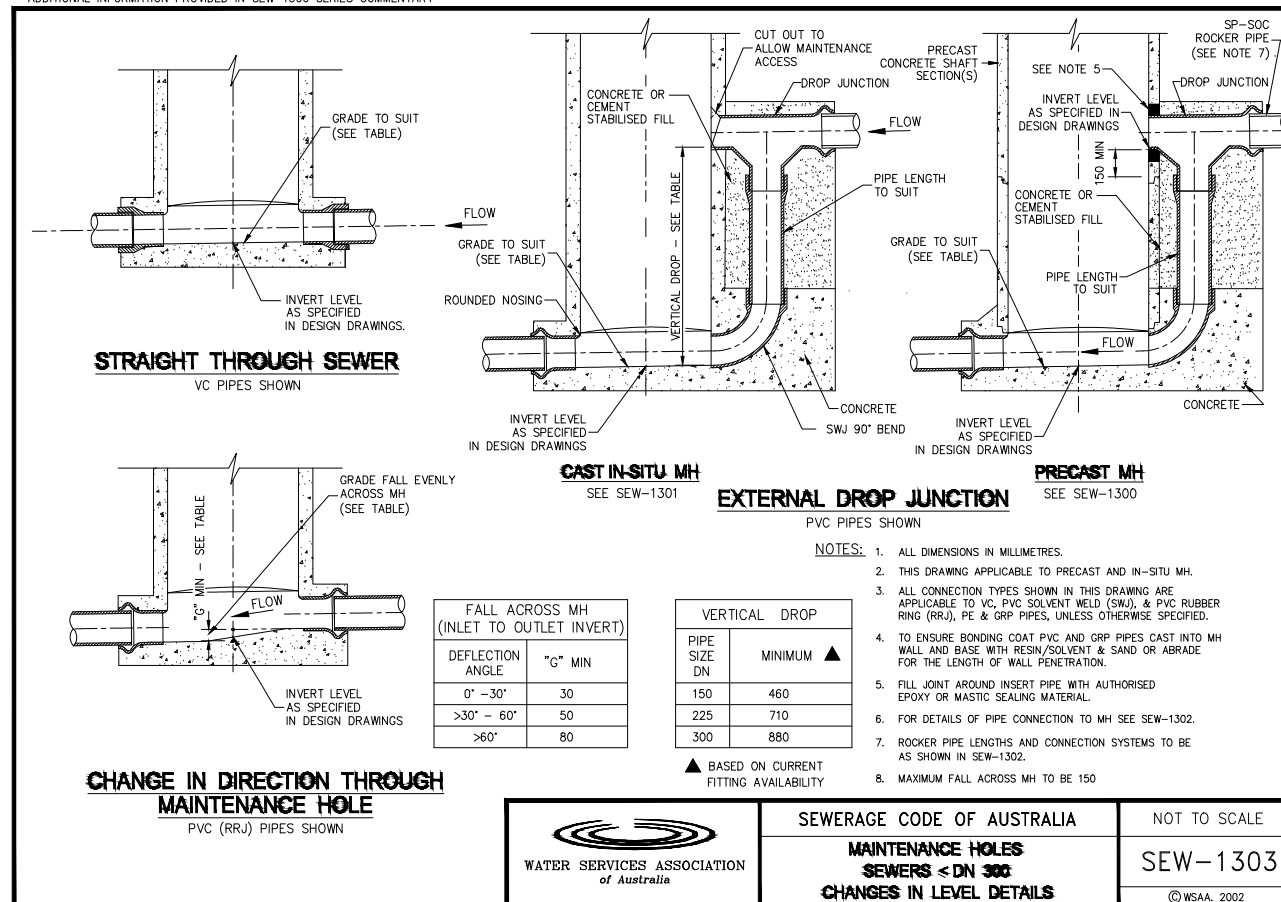


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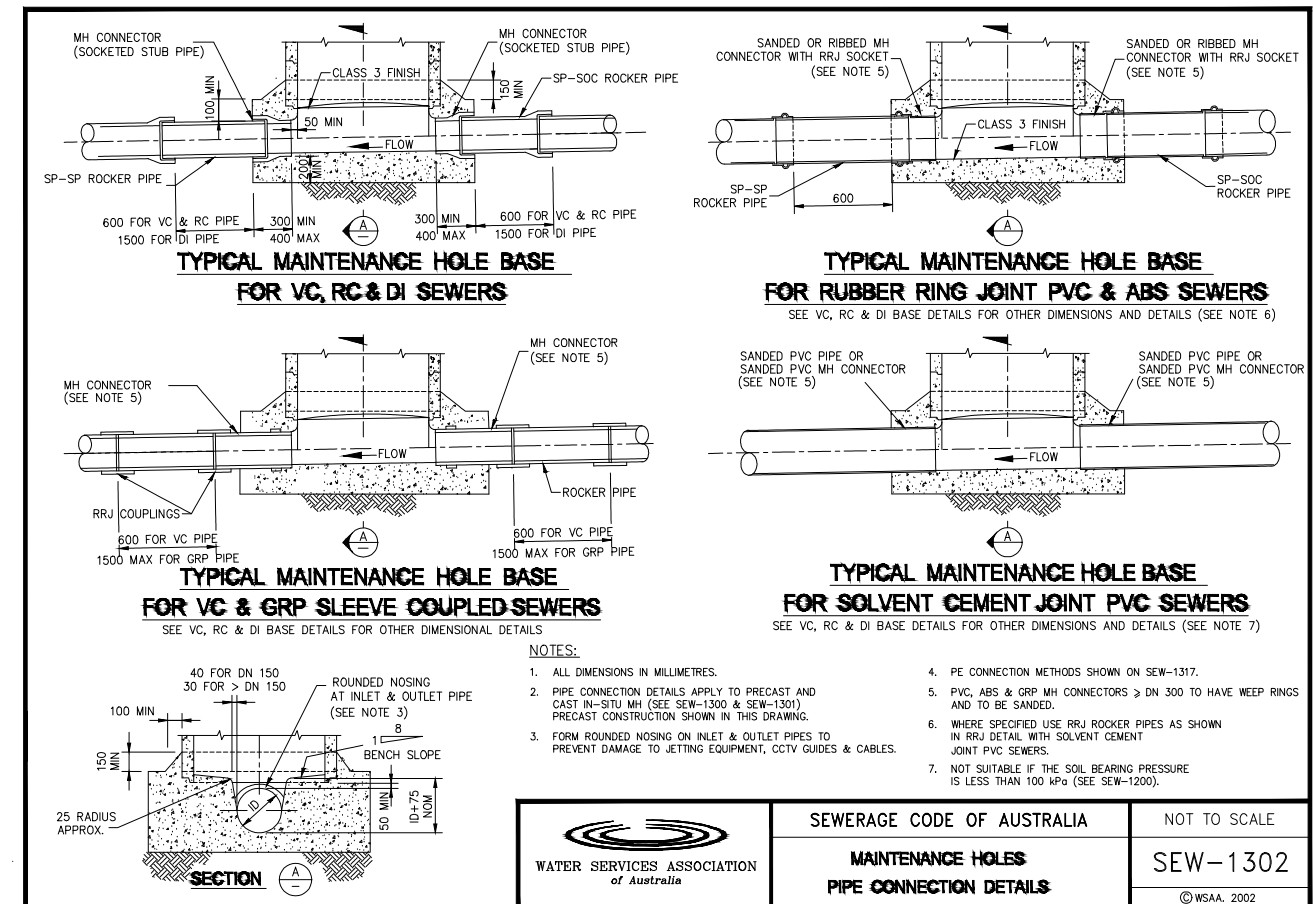
PLANS PREPARED BY		CLIENT	SEWER DETAILS IN ACCORDANCE WITH SEWER CODE OF AUSTRALIA - SHEET 2 NORTHVIEW ESTATE - STAGE 6 & 7		PLAN ISSUE		15.11.2024
MM HYNDES BAILEY & Co. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN Surveying the Hunter since 1920		TINDALE			ORIGINAL DRAWING SIZE: A1 MGA94		REV: A
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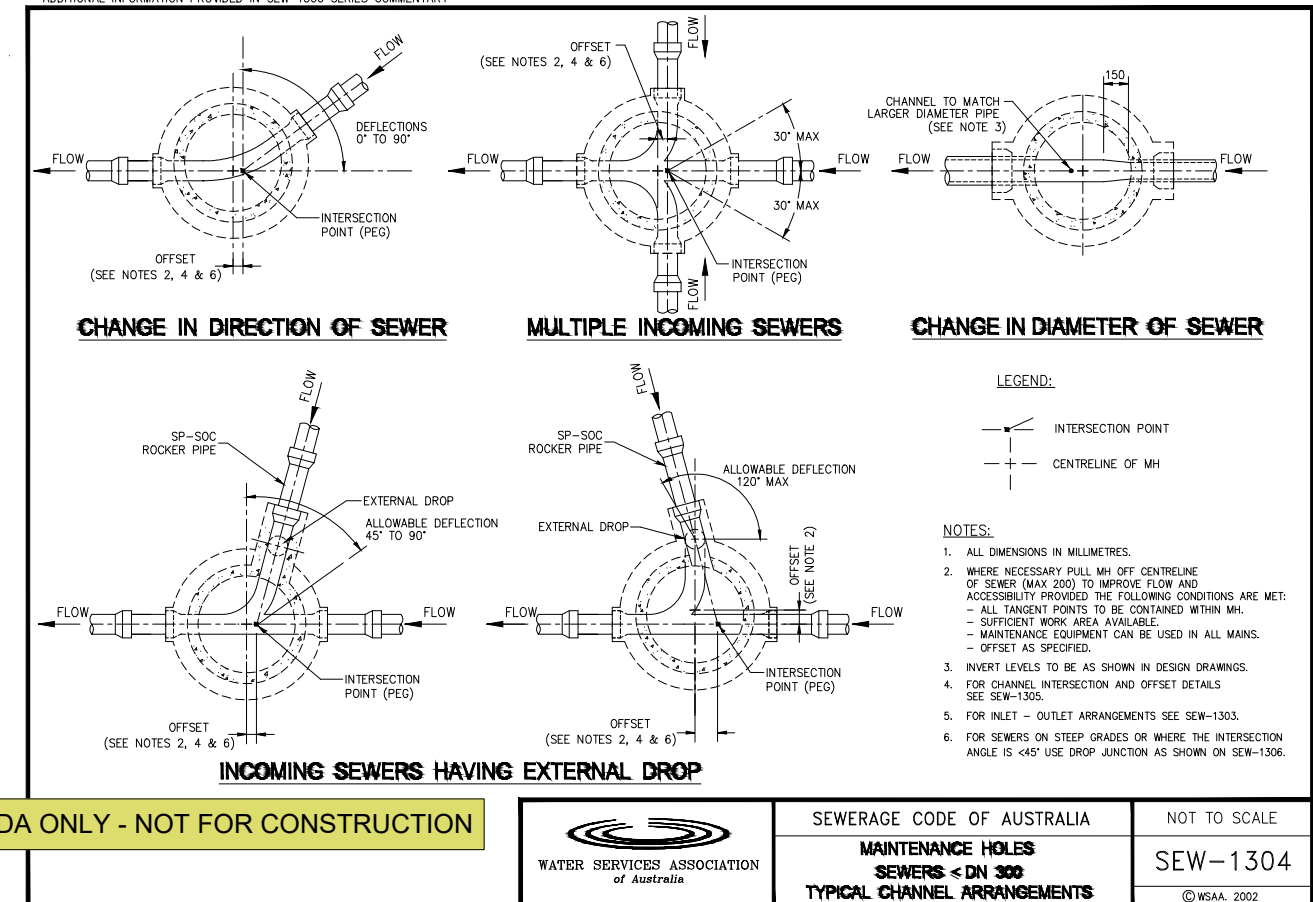
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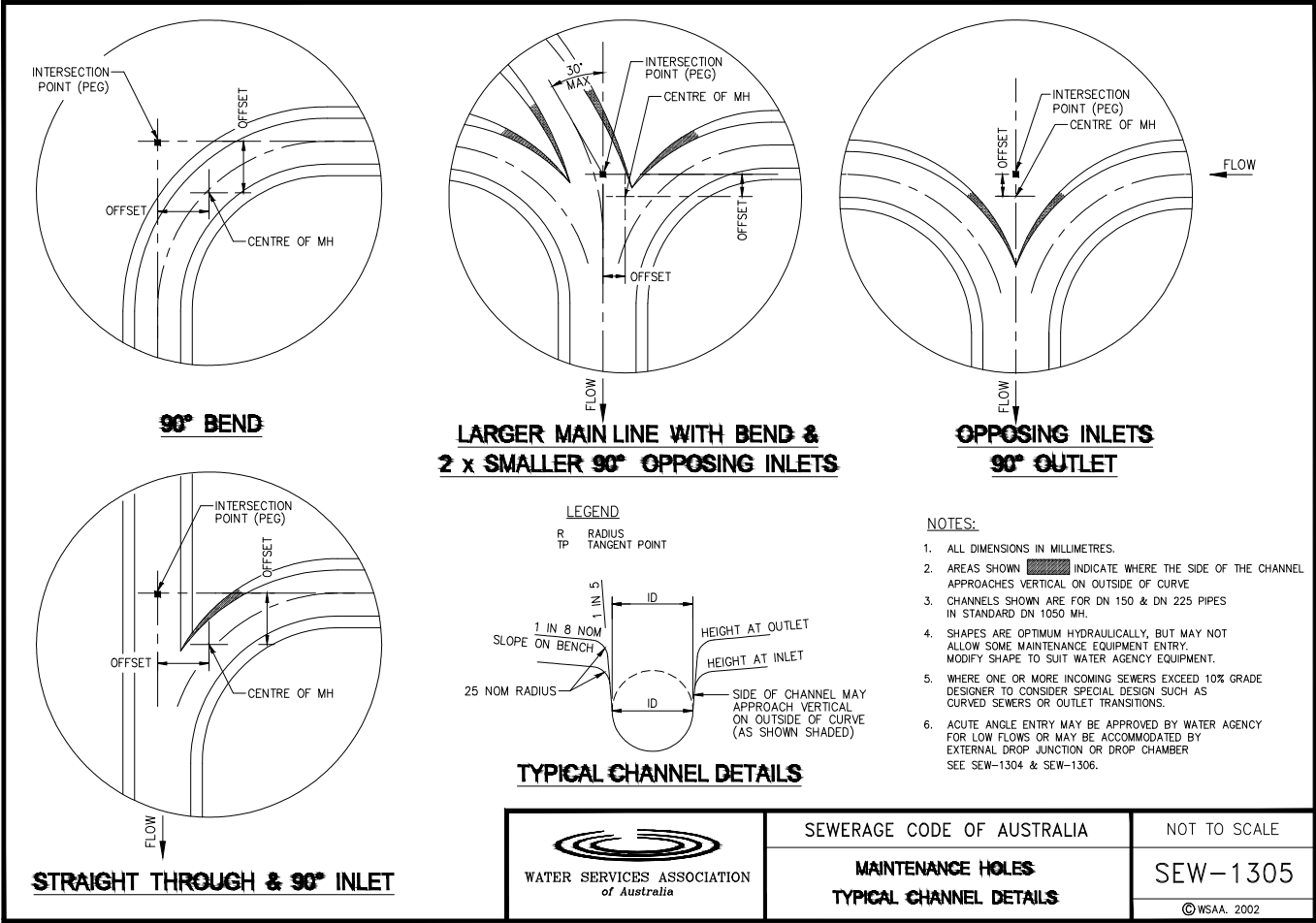


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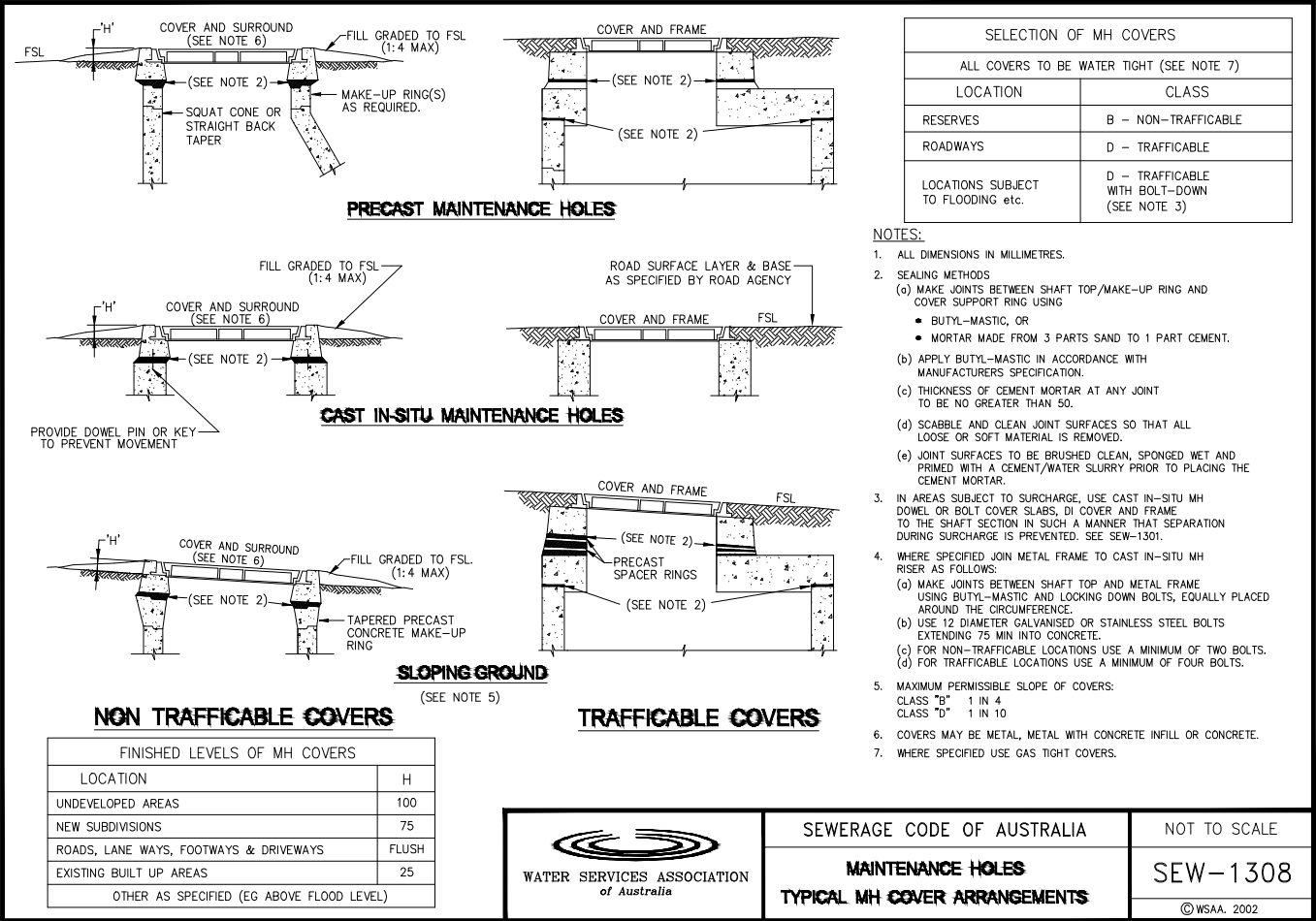


ADDITIONAL INFORMATION PROVIDED IN SEW-1300 SERIES COMMENTARY

PLANS PREPARED BY MM HYNDES BAILEY & Co. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN <i>Surveying the Hunter since 1920</i> Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au 132 Kelly Street (PO Box 432), SCONE NSW 2337		CLIENT TINDALE		SEWER DETAILS IN ACCORDANCE WITH SEWER CODE OF AUSTRALIA - SHEET 3 NORTHVIEW ESTATE - STAGE 6 & 7 DESIGN: M. COLE R. JONES		DRAWN: M. COLE R. JONES		ORIGINAL DRAWING SIZE: A1 MGA94 LGA: MUSWELLBROOK FILE: 224103_ST6-7_SEWER WATER SHEET: SEW-010		PLAN ISSUE A FOR DEVELOPMENT APPROVAL 15.11.2024 REV: A JOB REF: 224103	
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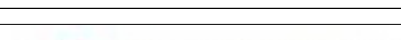


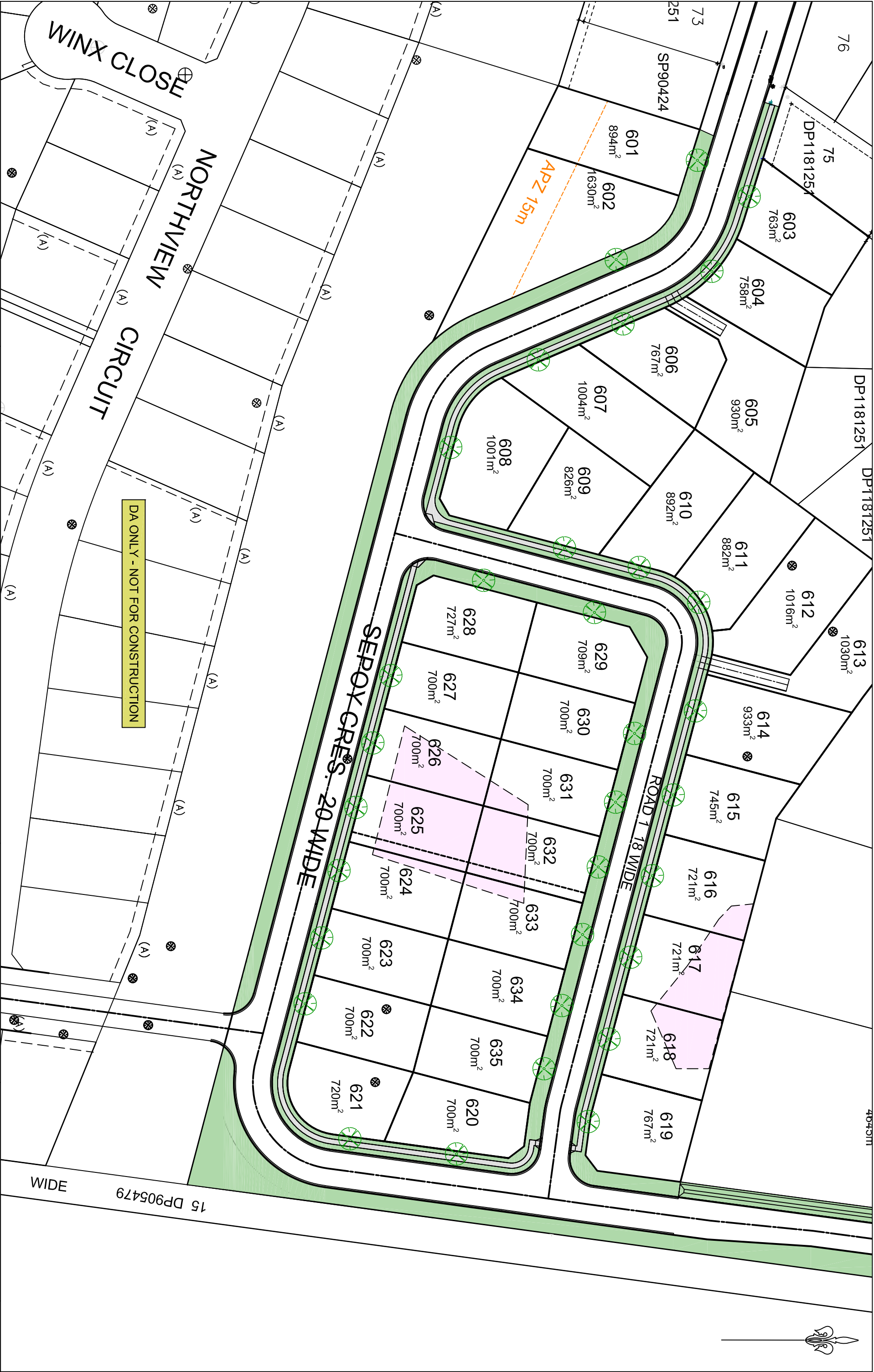
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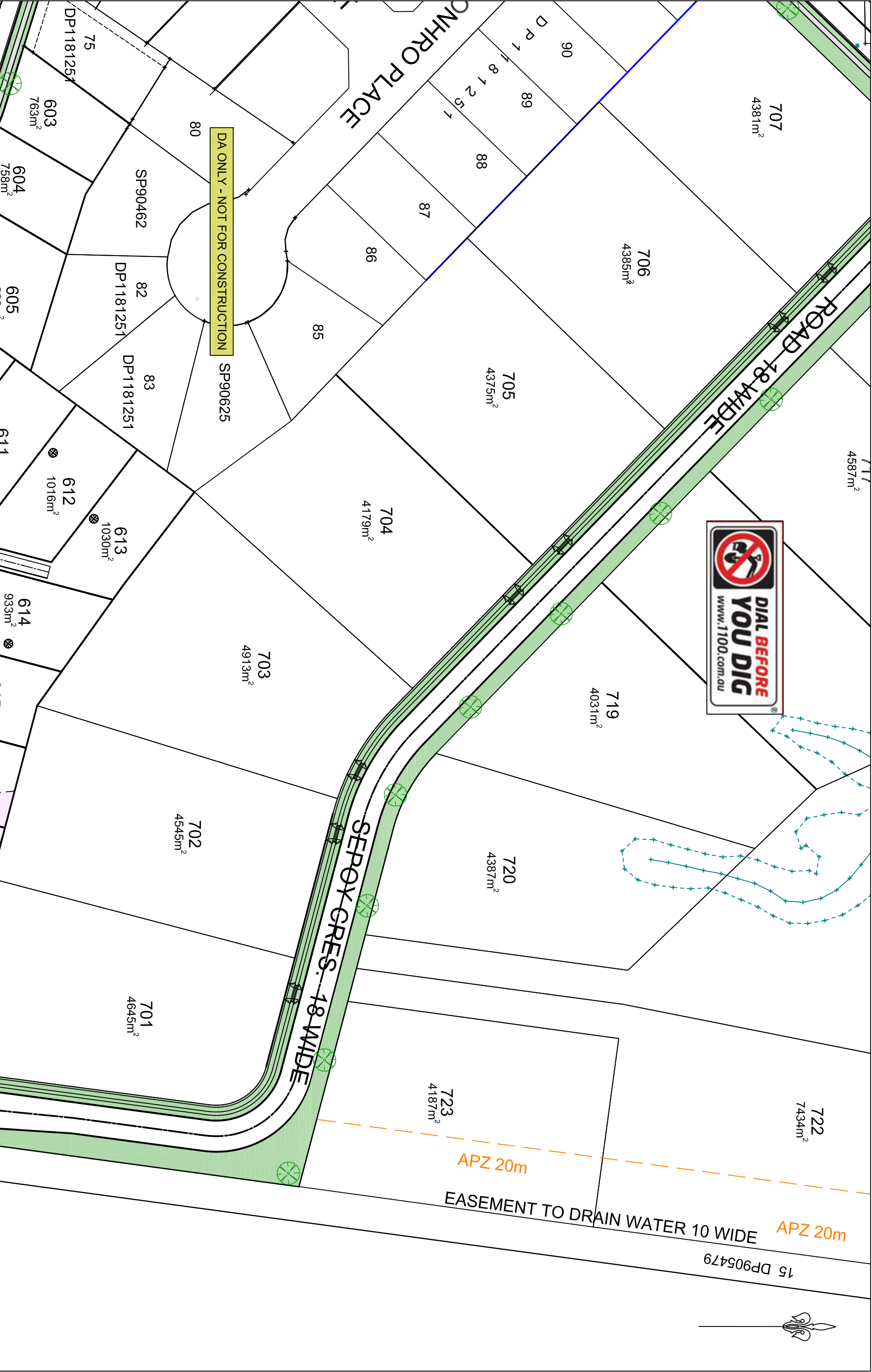
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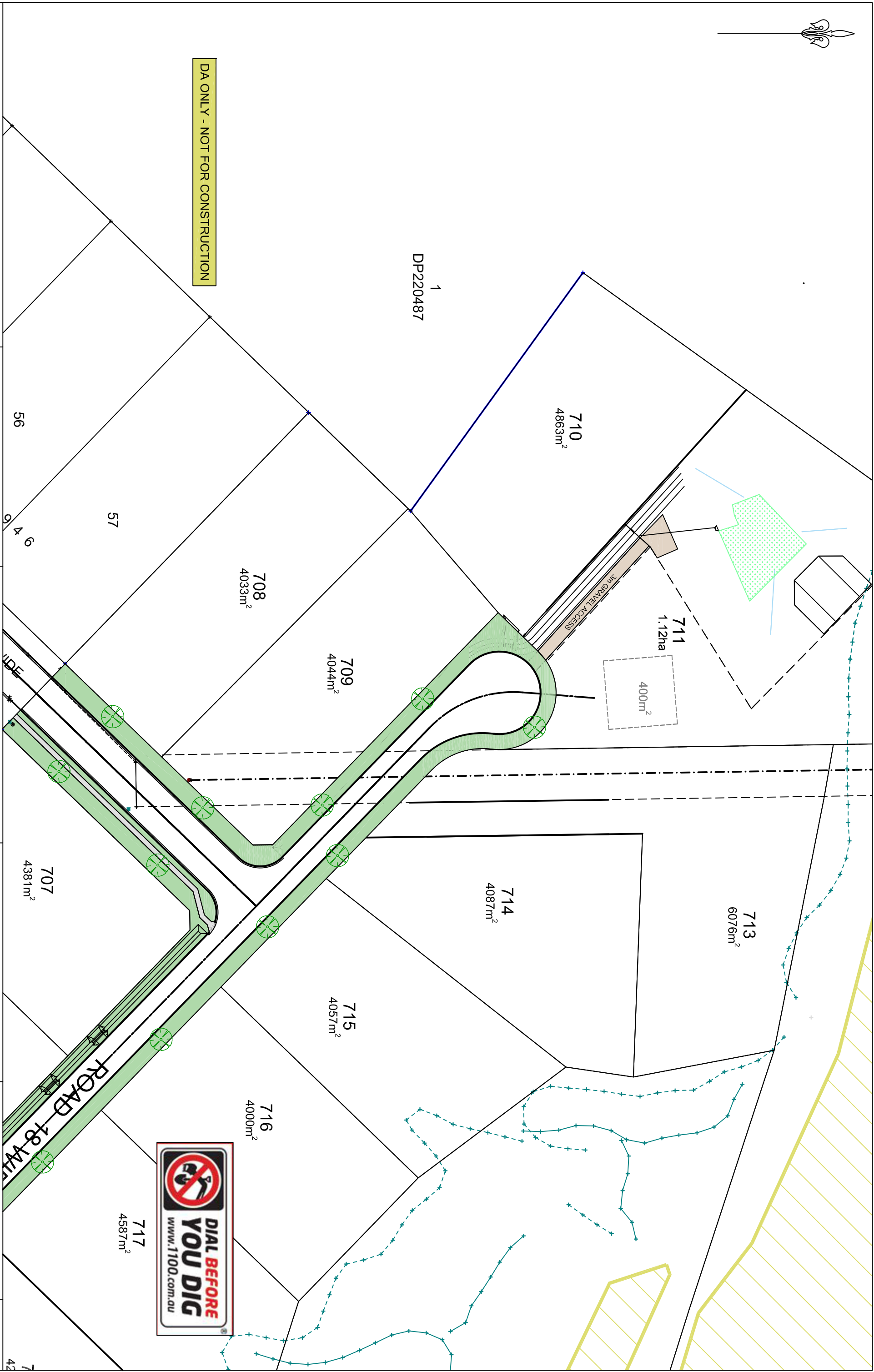
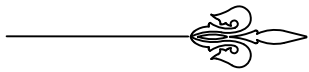
PLANS PREPARED BY		CLIENT		SEWER DETAILS IN ACCORDANCE WITH SEWER CODE OF AUSTRALIA - SHEET 4 NORTHVIEW ESTATE - STAGE 6 & 7		PLAN ISSUE		15.11.2024
<div>MM HYNDES BAILEY & Co.</div> <div>REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN</div> <div>Surveying the Hunter since 1920</div> <div></div> <div>Ph: 02 65432475 Fax: 02 65434400 Email: office@hbsurveys.com.au 132 Kelly Street (PO Box 432), SCONE NSW 2337</div>	<div></div>	<div>DESIGN: M. COLE R. JONES</div>	<div>DRAWN: M. COLE R. JONES</div>	ORIGINAL DRAWING SIZE: A1 MGA94		A	FOR DEVELOPMENT APPROVAL	REV: A
				LGA: MUSWELLBROOK				
				FILE: 224103_ST6-7_SEWER WATER				JOB REF: 224103
				SHEET: SEW-011				



PLANS PREPARED BY			CLIENT		
MM HYNDES BAILEY & Co. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN <i>Surveying the Hunter since 1920</i>			TINDALE		
GENERAL ARRANGEMENT OVERALL			NORTHVIEW ESTATE - STAGE 6 & 7		
DESIGN: MC / UK / RJ			DRAWN: MC / UK / RJ		
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FILE: 224103_ST6-7_CIVIL			FOR DEVELOPMENT APPLICATION		
SHEET: LAND002			15.11.2024		
			REV: A		
			JOB REF: 224103		



PLANS PREPARED BY		CLIENT	
MM HYNDES BAILEY & CO. REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN <i>Surveying the Hunter since 1920</i>		TINDALE	
P11: 02 65432475 Fax: 02 65434400 Email: office@hbsurveyors.com.au 132 Kelly Street (PO Box 432), SCONE NSW 2337			
DESIGN: MC / UK / RJ		DRAWN: MC / UK / RJ	
FILE: 224103_ST6-7_CIVIL		SHEET: LAND003	
JOB REF: 224103			
GENERAL ARRANGEMENT - STAGE 1		PLAN ISSUE	
NORTHVIEW ESTATE - STAGE 6 & 7		FOR DEVELOPMENT APPLICATION	
H.SCALE: 1:500 CONT. INT: 0.5m MG494		15.11.2024	
ORIGINAL DRAWING SIZE: A1		REV: A	
LGA: MUSWELLBROOK			



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DP220487

PLANS PREPARED BY

CLIENT

GENERAL ARRANGEMENT - STAGE 1

NORTHVIEW ESTATE - STAGE 6 & 7

H.SCALE: 1:500

ORIGINAL DRAWING SIZE: A1

CONT. INT: 0.5m

MGA94

PLAN ISSUE

FOR DEVELOPMENT APPLICATION

15.11.2024

MM HYNDES BAILEY & Co.

REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN

Surveying the Hunter since 1920

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132 Kelly Street (PO Box 432), SCONE NSW 2337



DESIGN: MC / UK / RJ

DRAWN: MC / UK / RJ

LGA: MUSWELLBROOK

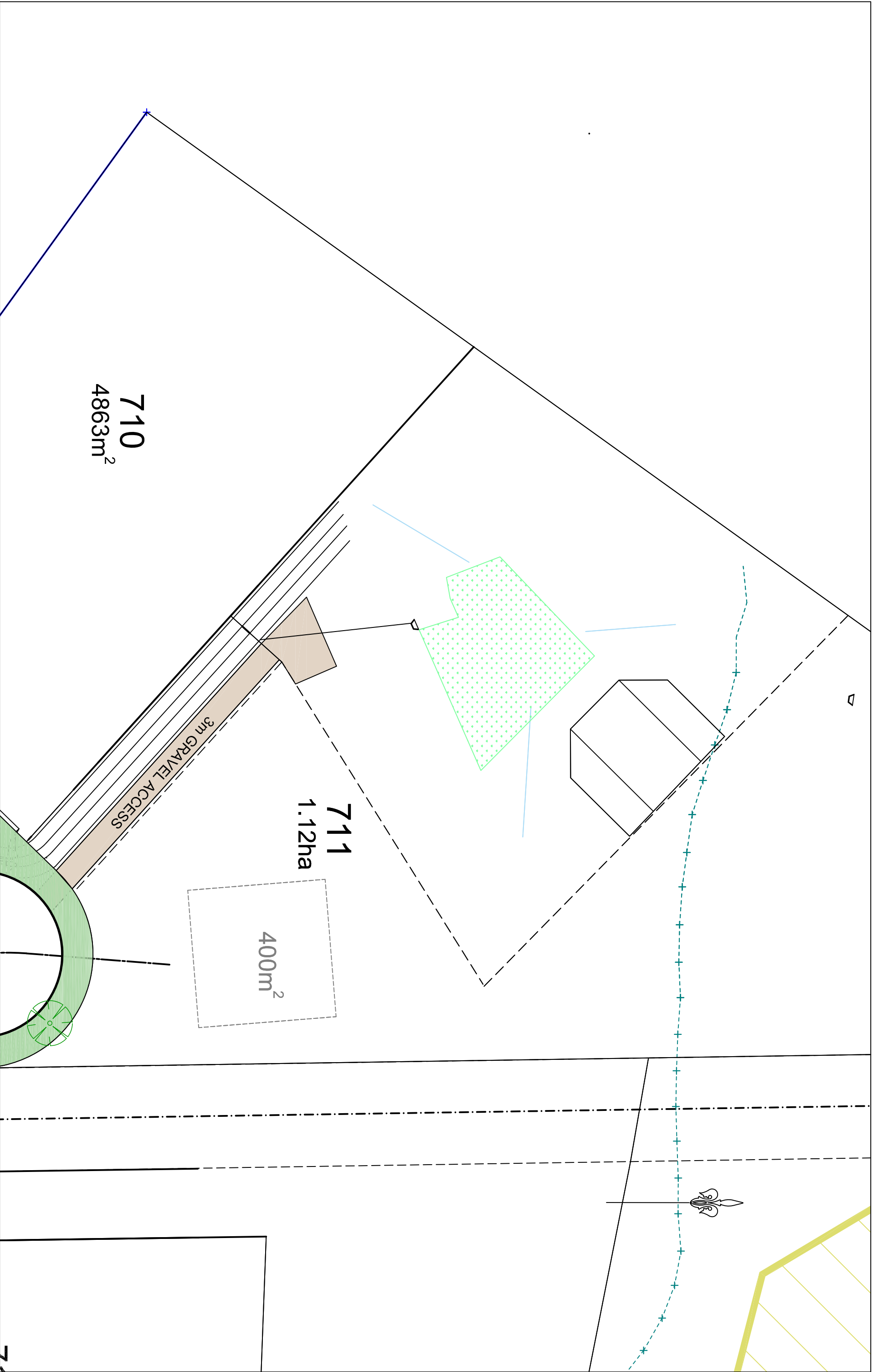
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SHEET: LAND004

JOB REF:

224103





PLANS PREPARED BY

CLIENT

GENERAL ARRANGEMENT - STAGE 1

H.SCALE: 1:500 CONT. INT: 0.5m

PLAN ISSUE

15.11.2024

NORTHVIEW ESTATE - STAGE 6 & 7

ORIGINAL DRAWING SIZE: A1

FOR DEVELOPMENT APPLICATION

REV: A

MM HYNDES BAILEY & CO.
REGISTERED SURVEYORS - TOWN PLANNING - CIVIL DESIGN
Surveying the Hunter since 1920



DESIGN: MC / UK / RJ

DRAWN: MC / UK / RJ

LGA: MUSWELLBROOK

FILE: 224103_STG-7_CIVIL

JOB REF: 224103

Ph: 02 66432475 Fax: 02 66434400 Email: office@hbsurveyors.com.au
132 Kelly Street (PO Box 432), SCONE NSW 2337